

# CITY OF BLOOMINGTON



## PLAN COMMISSION

September 13, 2021

5:30 p.m.

Zoom Meeting:

<https://bloomington.zoom.us/j/96983722763pwd=d3UwakVjS1UwbmViOHhhVml6eTB2dz09>

Meeting ID: 969 8372 2763

Passcode: 889762

**CITY OF BLOOMINGTON  
PLAN COMMISSION  
September 13, 2021 at 5:30 p.m.**

**❖Virtual Meeting:**

<https://bloomington.zoom.us/j/96983722763pwd=d3UwakVjS1UwbmViOHhhVml6eTB2dz09>  
Meeting ID: 969 8372 2763 Passcode: 889762

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**ROLL CALL**

**MINUTES TO BE APPROVED:** August 9, 2021

**REPORTS, RESOLUTIONS AND COMMUNICATIONS:**

RS-25-21 **Jordan Avenue Renaming**

**PETITION CONTINUED TO:** October 18, 2021

DP-20-21 **Bledsoe Riggert Cooper James**  
3111 S Walnut Street Pike  
Request: Primary Plat approval of 33 single family lots on 10.34 acres in Ivy Chase Subdivision Phase II.  
*Case Manager: Eric Greulich*

PUD/DP-24-21 **Robert V Shaw**  
N Prow Road: 3500 block of N Hackberry Street  
Request: Petitioner requests Final Plan and Preliminary Plat amendment for Ridgefield PUD and Subdivision Section V.  
*Case Manager: Jackie Scanlan*

SP-27-21 **Michael Cordaro (Johnson Creamery)**  
335 W 8<sup>th</sup> Street  
Request: Major site plan approval to allow for the construction of a 5 story building with 51 dwelling units in the MD zoning district.  
*Case Manager: Eric Greulich*

**PETITIONS:**

SP-18-21 **Overlook on 46, LLC**  
4550 E Third Street  
Request: Site Plan review for 175 unit multifamily apartments. A self-storage building is also included in this petition.  
*Case Manager: Keegan Gulick*

**\*\*Next Meeting September 13, 2021**

**Last Updated: 9/10/2021**

**Auxiliary aids for people with disabilities are available upon request with adequate notice.**

**Please call [812-349-3429](tel:812-349-3429) or e-mail [human.rights@bloomington.in.gov](mailto:human.rights@bloomington.in.gov).**

- SP-19-21     **Strauser Construction Co. Inc.**  
1300 N Lincoln Street  
Request: Site plan approval to allow the construction of a 16 unit, multifamily structure in the mixed-use student housing zoning district.  
Case Manager: Keegan Gulick
- DP-23-21     **Privet Drive, LLC**  
1211-1213 S High Street  
Request: Petitioner requests Primary Plat approval to change 3.5 lots to 4 lots and waiver of second hearing.  
Case Manager: Jackie Scanlan
- SP-26-21     **Aspen Topco II Acquisitions, LLC**  
703 W Gourley Ave  
Request: Major site plan approval to allow the construction of a 241 unit student housing development in the MS zoning district.  
Case Manager: Eric Greulich

Petition Map: <https://arcg.is/1Oy8qq>

**\*\*Next Meeting September 13, 2021**

**Last Updated: 9/10/2021**

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**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT**

**Location:** 4500 E Third Street

**CASE #: SP-18-21**

**DATE: September 13, 2021**

**PETITIONER:** Overlook on 46, LLC (Hiren Patel)  
1220 Brookville Way  
Indianapolis, IN 46239

**CONSULTANT:** American Structurepoint (Josh Rodgers)  
9025 River Road  
Indianapolis, IN 46240

**REQUEST:** The petitioner is requesting major site plan review for a new 176-unit multifamily development with a separate self-storage facility in the Mixed-Use Corridor (MC) zoning district.

**BACKGROUND:**

<b>Area:</b>	10.07 acres
<b>Current Zoning:</b>	Mixed-Use Corridor (MC)
<b>Comprehensive Plan Designation:</b>	Urban Corridor
<b>Existing Land Use:</b>	Vacant
<b>Proposed Land Use:</b>	Dwelling, Multifamily
<b>Surrounding Uses:</b>	North – Commercial/Dwelling, Multifamily
	South – Dwelling, Multifamily
	East – Communication Tower/Commercial/Dwelling, Single-Family
	West – Commercial/Restaurant

**REPORT:** The property is currently zoned Mixed-Use Corridor (MC) and located at the southwest corner of E. 3<sup>rd</sup> St. and State Road 446. The properties to the north and east are also zoned MC. The properties to the east that are east of State Road 446 are zoned MC. The properties to the south are zoned as Residential Multifamily (RM) and Residential High Density (RH). The properties to the west are zoned as MC and RH. The property fronts along E. 3<sup>rd</sup> St and S. SR 446. The site is currently undeveloped and sits vacant.

The petitioner is requesting major site plan approval for a new 176-unit multifamily development with a separate self-storage facility. This property was approved for rezoning from Planned Unit Development (PUD) to MC under petition #ZO-25-20. A conceptual plan was presented at the time of rezoning. The petitioners would now like to move forward on their proposed development by receiving major site plan approval. The existing Century Village property is not a part of the development and will remain. This site sits largely vacant except for a small parking lot on the north end of the property.

The proposed site plan features three multifamily buildings that contain a mix of one and two-bedroom units for a total of 176 units and 236 bedrooms. There is also a clubhouse building with a pool and amenity area to serve the residents of the development. A self-service storage facility is also proposed on the southern portion of the site. Approximately 210 parking spaces will be provided with the surface parking lot and “on-street” parking spaces on the driveway through the site. Vehicular access to the site will come from 3<sup>rd</sup> Street/E SR 46 and SR 446 with driveways.

Street trees and additional landscaping will be added to the site as well. The proposal will add a 10' shared use path along 3<sup>rd</sup> Street and a 12' shared use path along the frontage on SR 446. Two new bus shelters will be constructed along the driveway so Bloomington Transit can service this development as well as the adjacent multifamily use to the south. Bloomington Transit Route 6 currently uses the parking lot of the Knightridge Apartments in order to turn around. With this new development they will be able to use the new private driveway to access 3<sup>rd</sup> Street/E SR 46 and SR 446 instead of turning around in the Knightridge Apartments parking lot.

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**MAJOR SITE PLAN REVIEW 20.06.050(a)(2)(C)(ii):** Major site plan approval is required for developments that contain more than 50 dwelling units and developments that contain more than 15,000 square feet of gross floor area. This proposed site plan will create 176 one and two-bedroom dwelling units with roughly 198,191 square feet of gross floor area and a self-service storage facility with 117,525 square feet of gross floor area.

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#### **SITE PLAN ISSUES:**

##### **Dimensional Standards:**

- **Setbacks:** The MC zoning district requires a 15' front setback and 7' side and rear setback. This site plan demonstrates compliance with required setbacks.
- **Height:** The maximum height in the MC zoning district is 4 stories not to exceed 50'. Each proposed building in this development is 3 stories, not exceeding 50'.
- **Impervious Surface Coverage:** The maximum impervious surface coverage in the MC zoning district is 60%. The impervious surface coverage for this development is approximately 53%.

**Environmental:** A tree preservation easement will be created on the southeast portion of the site. A copy of the Environmental Commission's memo is included in the packet.

**Bicycle Parking/Alternative Transportation:** Residential uses in the MC zoning district are required to provide bicycle parking spaces at 10% of the provided vehicle parking or 1 space per 5 bedrooms, whichever is more. This development will require 47 bicycle parking spaces. A minimum of 6 bicycle parking spaces will be required at the storage facility.

**Landscaping:** A minimum of one canopy tree shall be planted per 40 feet of property that abuts a public right-of-way. The proposed site plan meets this requirement of 4 street trees along 3<sup>rd</sup> Street but will also need street trees along State Road 446. The City's Urban Forester will need to be consulted about the species of street trees which can be utilized with this development. A compliant landscape plan for the interior of the site including parking areas, as well as the street trees, is required before a grading permit will be issued. A condition has been added.

**Access:** This proposed development will create new driveway access points on SR 46 and SR 446. They will be removing the existing drive cut on SR 46 and adding a new access point. The north-south driveway is in the same location as a proposed roadway in the Transportation Plan. The proposed driveway has been designed to Neighborhood Residential street standards and offers some 'on-street' parking. A major site plan approval does not require right-of-way dedication or construction of roads shown on the Transportation Plan. However, future subdivision will require right-of-way dedication and road construction. The petitioner has been advised of this, and has chosen not to plan for all roadway connections that appear on this parcel in the Transportation Plan. Changes to the design of the site will be required with any future subdivision. An egress

ement will be required to allow Bloomington Transit and to utilize the driveway. A condition has been added.

**Parking:** Minimum vehicle parking is not required for this use at this location as the property is not adjacent to R3 or in the Mixed-Use Downtown zoning district. The maximum vehicle parking allowance for multifamily dwellings is 1.25 parking spaces per bedroom. Giving them a maximum parking allowance of 295 vehicle parking spaces. They are proposing approximately 265 vehicle parking spaces.

**Transit:** Two new covered bus shelters will be constructed along the driveway to service the residents of this development and the adjacent Knightridge apartments to the south. The final design and location of the bus stop and shelter must be coordinated with and approved by Bloomington Transit. A condition has been added.

**Architecture:** The residential buildings will be finished with a mix of brick, cast stone, and fiber cement siding. The exterior façade of the building incorporates wall elevation projections, a regular pattern of glass on the first floor, and changes in façade height to comply with the patterns requirements of the UDO. The flat roof features parapets on the supporting walls to meet the roof design requirements.

The storage building will be finished with a mix of brick, solid color EIFS, and limestone banding. The exterior façade follows the same design pattern around the entire building to meet the 360-degree architecture requirement. The exterior façade design incorporates wall elevation projections, changes in façade height, and awnings to meet the design requirements.

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**GENERAL COMPLIANCE CRITERIA:** All petitions shall be subject to review pursuant to the following criteria and shall only be approved if they comply with these criteria 20.06.040(d)(6)(A).

**Compliance with this UDO:** *The proposed use and development shall comply with all applicable standards in this UDO, unless the standard is lawfully modified or varied. Compliance with these standards is applied at the level of detail required for the subject submittal.*

**Proposed Finding:** This development will meet all applicable standards in the UDO.

**Compliance with Other Applicable Regulations:** *The proposed use and development shall comply with all other city regulations and with all applicable regulations, standards, requirements, or plans of the federal or state governments and other relevant entities with jurisdiction over the property or the current or proposed use of the property. This includes, but is not limited to, floodplain, water quality, erosion control, and wastewater regulations.*

**Proposed Finding:** This development is in compliance with other city regulations.

**Compliance with Utility, Service, and Improvement Standards:**

1. *As applicable, the proposed use and development shall comply with federal, state, county, service district, city, and other regulatory authority standards, and design/construction specifications for roads, access, drainage, water, sewer, schools, emergency/fire protection, and similar standards.*
2. *Municipal sewer and water hookup are required for all developments except for instances*

*where written approvals by the City Utilities Department and the County Health Department grant an exception to the hookup requirement. All sewer and water facilities shall meet the design specifications of the City Utilities Department.*

3. *When public improvements are required, the petitioner or authorized representative shall post performance and maintenance guarantees for such improvements. Such financial guarantees shall be submitted, reviewed, and approved per 20.06.060(c)(3)(E)iii (Financial Bond Required).*

**Proposed Finding:** This development is in compliance with other applicable regulations. The petitioner has signed a memorandum of understanding with CBU to provide needed improvements to sewer capacity to ensure the development can be properly serviced.

**Compliance with Prior Approvals:** *The proposed use and development shall be consistent with the terms and conditions of any prior land use approval, plan, or plat approval for all or part of the property that is in effect and not proposed to be changed. This includes consistency with any approved phasing plan for development and installation of public improvements and amenities.*

**Proposed Finding:** No relevant prior approvals are found with this petition. This property was rezoned to MC under ZO-25-20.

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**COMPREHENSIVE PLAN:** The Comprehensive Plan designates this property as Urban Corridor. For multifamily uses in this district, the Comp Plan states, “Integrating multifamily residential uses into existing retail and commercial areas within the district can apply a mixed-use approach within individual buildings sites or between adjacent properties.” Land use policies for this area state that:

- Development and redevelopment within the district is particularly suited to high-density residential and mixed residential/commercial uses.
- Consider opportunities for infill and development to increase residential densities.
- Districts are located along major roadways in order to provide convenient pedestrian, bicycle, transit, automobile, and truck access.

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**CONCLUSION:** This petition meets all requirements of the UDO and will add 176 dwelling units near other high-density uses and amenities. The development will be serviced by Bloomington Transit and provide improved transit facilities for the area. This petition is also in line with the goals of the Comprehensive Plan and in line with the intent of the Urban Corridor district by providing a higher intensity residential use near SR 46 and SR 446.

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**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plan Commission adopt the proposed findings and approve SP-18-21 with the following conditions:

1. Any future subdivision of the property will require the site to be brought into compliance with the City’s Transportation Plan.
2. The petitioner will provide the required number of bicycle parking spaces on the site plan prior to the issuance of a grading permit.
3. A landscape plan that meets all UDO requirements, including required street trees, must be submitted and approved prior to issuance of a grading permit.
4. The petitioner will work with Bloomington Transit on a final design and location of the on-site transit facilities to be determined before a grading permit is issued.

5. The petitioner will record an access easement for Bloomington Transit before final occupancy is issued.





City of Bloomington  
Bloomington Environmental Commission

## MEMORANDUM

Date: September 13, 2021  
To: Bloomington Plan Commission  
From: Bloomington Environmental Commission  
Subject: SP-18-21: The Overlook on Third, LLC  
4550 E. Third Street

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The purpose of this memo is to convey the environmental concerns and subsequent recommendations for conditions of approval for this development petition. The Environmental Commission's (EC) objective is that the results of our review and suggestions will lead to enhancement of the ecosystem services provided, and the climate-change mitigation attributes of the site.

### **Comments**

#### 1.) UNDERGROUND DETENTION SYSTEM

The EC recommends that the Petitioner provide a maintenance plan for the underground stormwater detention system. These systems usually require quarterly inspections of the entire Treatment Train, so please describe the process.

#### 2.) LANDSCAPE PLAN

Although the Petitioner has already worked with the Senior Environmental Planner on the Landscape Plan, a few details still need to be worked out. The EC recommends that communication continue such that a compliant plan is submitted with the Grading Plan.

#### 3.) GREEN BUILDING PRACTICES

The EC is disappointed that there are no green building products or practices used at a project of this size. This is something that the developer should incorporate regardless of the UDO incentives that could be granted, or of the outdated minimum building standards they are required by the state to follow. Buildings produce much of the CO<sub>2</sub> released to the atmosphere, so it is the responsibility of architects and builders to design and build buildings such that they do not continue to be one of our major polluters.

The EC believes that our city and our culture must embrace a paradigm to reduce building CO<sub>2</sub> emissions if we are going to combat our current climate crisis, and it is each petitioner's obligation to contribute. This includes calculating a building's total environmental footprint using the embodied energy expended as well as operational energy. Embodied energy is the energy used to make the materials and transport them, and to build the building, while operational energy is the energy used to heat, cool, and operate buildings –what we have traditionally looked at when considering energy efficiency. For example, in the past it was common to consider concrete efficient because it doesn't use any energy, but concrete has a very high embodied energy value –a large environmental footprint to manufacture, while its operational energy is not nearly as high. Therefore, it is the responsibility of everyone, especially builders, to contribute to the city's mitigation efforts.

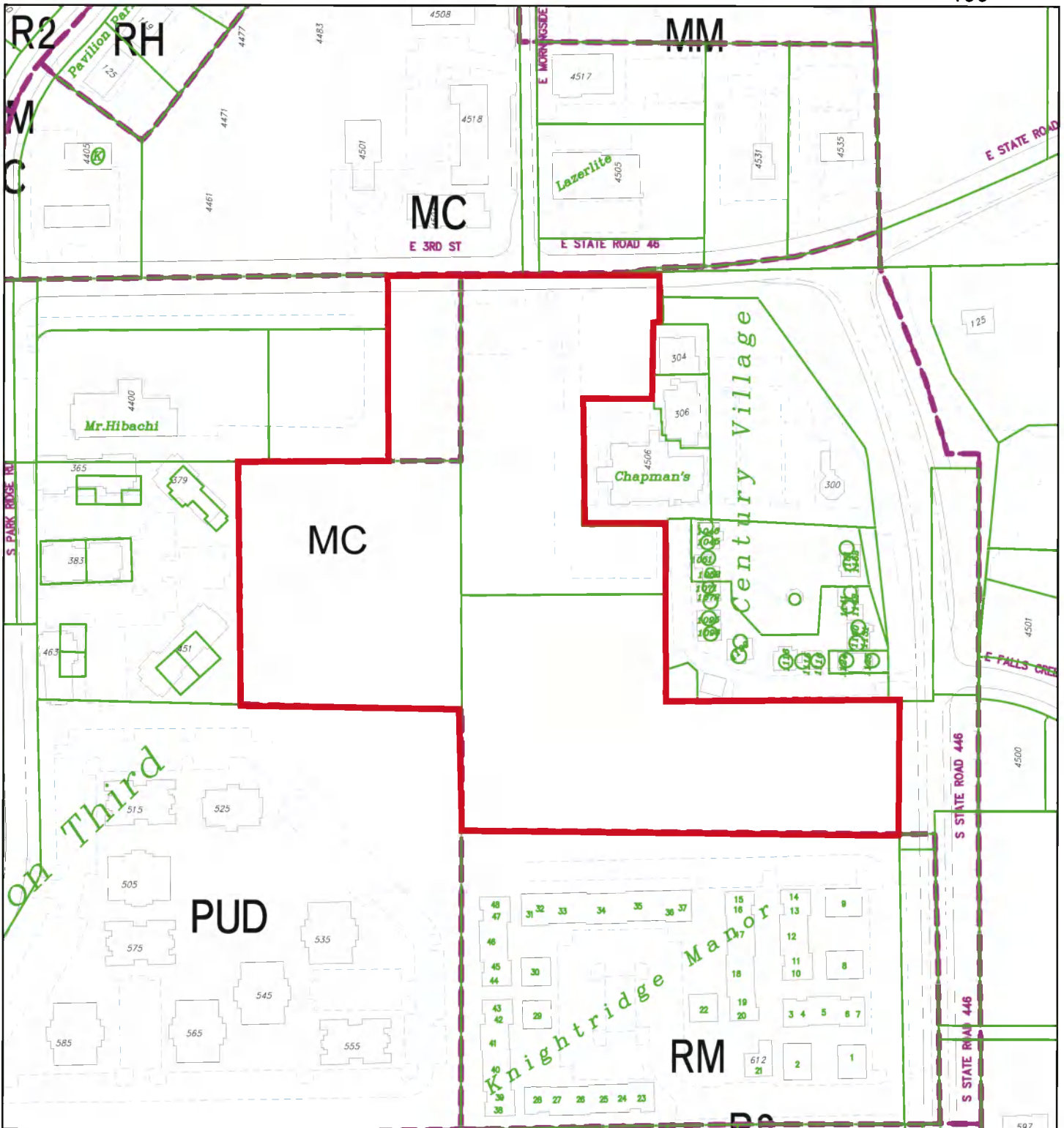
Because modernizing building methods is so important to the future, and renters prefer a more modern approach of sustainable living, the EC also recommends that the Petitioner follow the guidelines from the US Building Council's LEED Platinum certification for green building specifications.

#### 4.) RECYCLING SPACE

Space for recyclable materials staging is not obvious. Please show where recyclable materials are stored until pickup.

### **Recommended Conditions of Approval**

- 1.) Submit for review and approval a maintenance plan for the underground stormwater detention system.
- 2.) Submit a compliant Landscape Plan with the Grading Permit..
- 3.) Incorporate green building practices in the design.
- 4.) Show where the space is dedicated for recyclable materials.



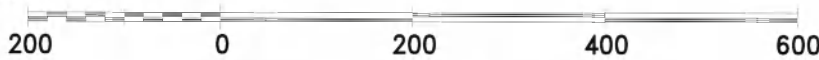
City of Bloomington



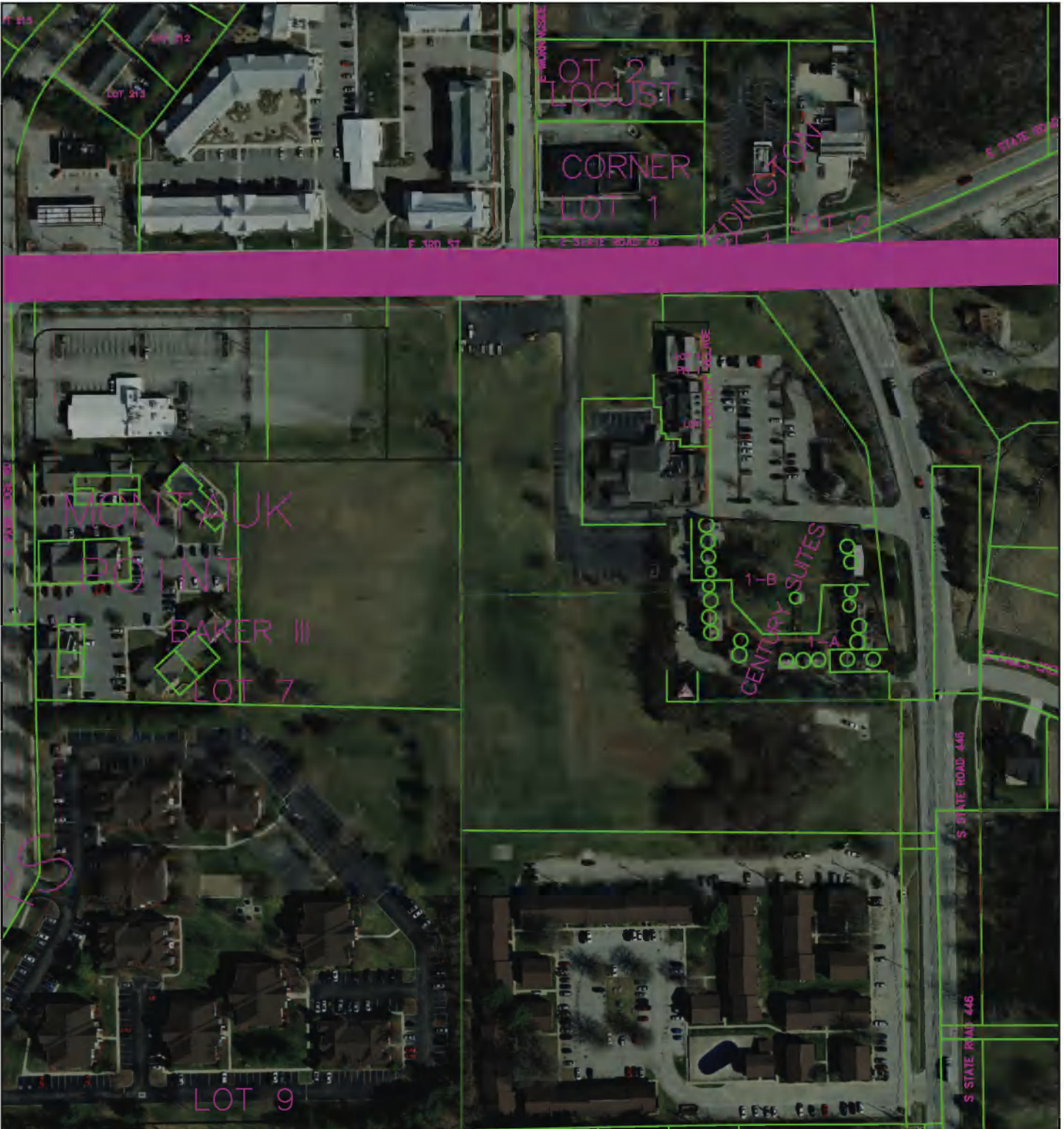
Scale: 1" = 200'

By: keegan.gulick

10 Sep 21



For reference only; map information NOT warranted.



City of Bloomington  
Planning



Scale: 1" = 200'

By: keegan.gulick

10 Sep 21



For reference only; map information NOT warranted.



AMERICAN  
**STRUCTUREPOINT**  
INC.

9025 RIVER ROAD, SUITE 200  
INDIANAPOLIS, INDIANA 46240  
TEL 317.547.5580  
FAX 317.543.0270

July 6<sup>th</sup>, 2021

Mr. Keegan Gulilck  
City of Bloomington  
Planning & Transportation  
401 N Morton St Suite 130  
Bloomington IN 47404

Re: Petitioner's Statement

Mr. Gulick,

On behalf of MHG Hotels (Overlook on 3<sup>rd</sup>, LLC), we are pleased to submit the following set of design documents for Major Site Plan approval.

The project consists of the development of approximately 10+ acres at the southwestern intersection of E 3<sup>rd</sup> Street (SR 46) and SR 446 in Bloomington. The development will consist of 5 multi-family buildings consisting of 175 total units. In addition, a multistory climate controlled self-storage building will be built separate from the multi-family portion but is included in this petition. Utility extensions for sanitary and water, existing utility relocates, and electrical service will be provided as part of the detailed engineering plans. Stormwater runoff volume and quality control will be provided by an underground detention system and will eventually discharge into an existing storm sewer east of the site. This system will be sized for the fully developed condition and will control site discharge to that of the existing condition.

An existing restaurant immediately east of the site will stay in place with access provided from the proposed development. In addition to the existing access off of SR446 patrons may access the site from the proposed driveway alignment with Morningside Drive across from this site. This proposed driveway will connect East 3<sup>rd</sup> street to SR446 as well as serve as the primary north-south way for the proposed development. Furthermore, this drive will be designed per City of Bloomington standards for a Neighborhood Residential Street.

We feel that the proposed development is consistent with the Comprehensive Plan for this area and will provide much needed non-student multi-family housing. The architectural and engineering design will add character to property that has long been undeveloped. Walkability and interconnectivity is provided in this design in an effort to make this proposal a community



AMERICAN  
**STRUCTUREPOINT**  
INC.

9025 RIVER ROAD, SUITE 200  
INDIANAPOLIS, INDIANA 46240  
TEL 317.547.5580  
FAX 317.543.0270

along with the existing adjacent developments. It is these aspects of the development that we feel provide justification for approval of Major Site Plan.

Thank you for your consideration of this proposal. We look forward to working with the City of Bloomington throughout this process.

Very truly yours,  
**American Structurepoint, Inc.**

Josh Rodgers, PE

**MEMORANDUM OF UNDERSTANDING  
BETWEEN THE CITY OF BLOOMINGTON UTILITIES  
AND Overlook on 46, LLC  
FOR PAYMENT OF COSTS TO OFFSET PROPOSED SANITARY SEWER  
EFFLUENT FROM 4500 E. 3<sup>RD</sup> STREET BLOOMINGTON, INDIANA PROJECT**

**THIS MEMORANDUM OF UNDERSTANDING** is entered into by and between the City of Bloomington Utilities Department by and through its Utilities Service Board (collectively the “USB”) and **Overlook on 46, LLC** and its successors and assigns (collectively “Overlook”) who may be referred to as the Party or Parties throughout this Memorandum of Understanding.

**WHEREAS**, CBU owns and operates a sanitary sewer wastewater utility for the City of Bloomington, Indiana; and

**WHEREAS**, Overlook proposes to construct a new multi-family development located at 4500 E. 3<sup>rd</sup> Street, Bloomington, IN, (the “New Development”) which will generate a significant new source of sanitary sewage flow consisting of approximately 41,200 gallons per day (“gpd”) with a peaking factor of 4 resulting in a peak flow of approximately 164,800 gpd (“new source of sanitary sewage”); and

**WHEREAS**, CBU is willing to accept Overlook’s new source of sanitary sewage into its existing sanitary sewer system if certain conditions precedent are met; and

**WHEREAS**, to ensure that CBU’s existing sanitary sewer system has adequate capacity to receive this significant new source of sanitary sewage without creating the potential for increased future sanitary sewer overflows, CBU plans to offset the increase in flow generated by the new source of sanitary sewage through reduced flow of clear water inflow and infiltration (I&I) into the sanitary sewer system and/or adding capacity by utilizing one or more of the following methods:

- **Disconnecting sump pumps from the sanitary sewer system (estimated credit of 5,000 gpd per disconnection).**
- **Disconnecting illegal inflow sources such as: downspouts, area drains, garage drains (estimated credit of flows removed based upon a one-inch storm event over the drainage area for the drain/gutter).**
- **Sealing sanitary laterals for a length of 10-feet from the sanitary sewer main (estimated credit of flows removed based upon industry standards and/or EPA guidelines).**
- **Lining sanitary sewer mains (estimated credit of flows removed based upon industry standards and/or EPA guidelines).**
- **Sealing manholes (estimated credit of flows removed based upon industry standards and/or EPA guidelines).**

- **Rehabilitation or replacement of existing sewer (including, but not limited to, sewer mains, interceptors, or laterals) that will reduce I&I and/or add capacity by upsizing (estimated credit of flows removed based upon industry standards and/or EPA guidelines).**

(collectively, the “Project”).

**WHEREAS**, Overlook agrees to pay to CBU an amount not to exceed \$155,644.00 to cover the cost of the Project.

**NOW, THEREFORE**, in consideration of the mutual covenants contained herein, the Parties do hereby agree to be bound by the terms and conditions enumerated in this Memorandum of Understanding as follows:

1. **Project Location**: The location of the Project shall be contained to that part of CBU’s Southeast Sanitary sewer basin as defined in the 2010 Greeley and Hansen report which the Parties have reviewed and agree shall serve as the boundaries for the Project. This area is further described as the area south of Indiana Railroad and north of Rogers Rd. Neighborhoods to concentrate on include Green Acres, Park Ridge and Hoosier Acres.
2. **Project Operation**: CBU shall be responsible for the management, operation and completion of the Project.
3. **Contribution from Overlook**: Overlook shall pay to CBU One Hundred Fifty Five Thousand Six Hundred Forty Four and Zero/One-Hundredths (\$155,644.00) Dollars (“Contribution”) in a cash payment no later than ten days after the date in which Overlook receives the building permit for New Development. The Contribution shall be earmarked and used solely by CBU to fund the Project.
4. **Sewer connection Fee**: As required by Bloomington Municipal Code, Overlook shall pay the CBU invoiced sanitary sewer connection fees for the connection of the new multi-family development located at 4500 E. 3<sup>rd</sup> Street, Bloomington, IN to CBU’s sanitary sewer system. Both parties understand and agree that revenues from the sewer connection fees are separate from and not made a part of Overlook’s Contribution to the Project.
5. **IDEM Waste Load Allocation Letter**: CBU shall not sign the IDEM waste load allocation letter that is part of the IDEM sanitary sewer extension permit for Overlook’s construction of its multi-family development located at 4500 E. 3<sup>rd</sup> Street, Bloomington, IN, until the Overlook has paid the Contribution in full to CBU.
6. **Easements**: Overlook shall convey any and all easements as necessary for installation of any new sewer lines on Overlook’s property related to the Project.



**IN WITNESS WHEREOF**, the parties hereto have executed this Memorandum of Understanding which shall become effective as of the date last entered below.

**CITY OF BLOOMINGTON  
UTILITIES SERVICE BOARD**

**Overlook on 46, LLC**



08/27/2021

\_\_\_\_\_  
Jean Capler, President                      Dated

\_\_\_\_\_  
Hirem Patel, Authorized Representative                      Dated

**ATTEST:**

\_\_\_\_\_  
LaTreana Harrington,                      Dated  
Secretary to the Board

\_\_\_\_\_  
Vic Kelson, Director                      Dated  
City of Bloomington Utilities



SITE DATA TABLE	
SITE ZONING:	MC
PROJECT AREA:	15,054 ACRES
EXISTING AREA:	166,813 SF
SITE SURFEROUS AREA:	2.34 ACRES
STANDARD PARKING (8.5'x18')	182
ADDITIONAL STREET PARKING (7'x22.5')	75
ADA PARKING:	8
TOTAL PROPOSED PARKING:	265



**OVERLOOK ON 3RD & CENTURY VILLAGE STORAGE**

Bloomington, IN

APPROVAL PENDING  
NOT FOR CONSTRUCTION

CERTIFIED BY

ISSUANCE INDEX

DATE:	07/26/2021
PROJECT PHASE:	PRELIMINARY DOCUMENTS

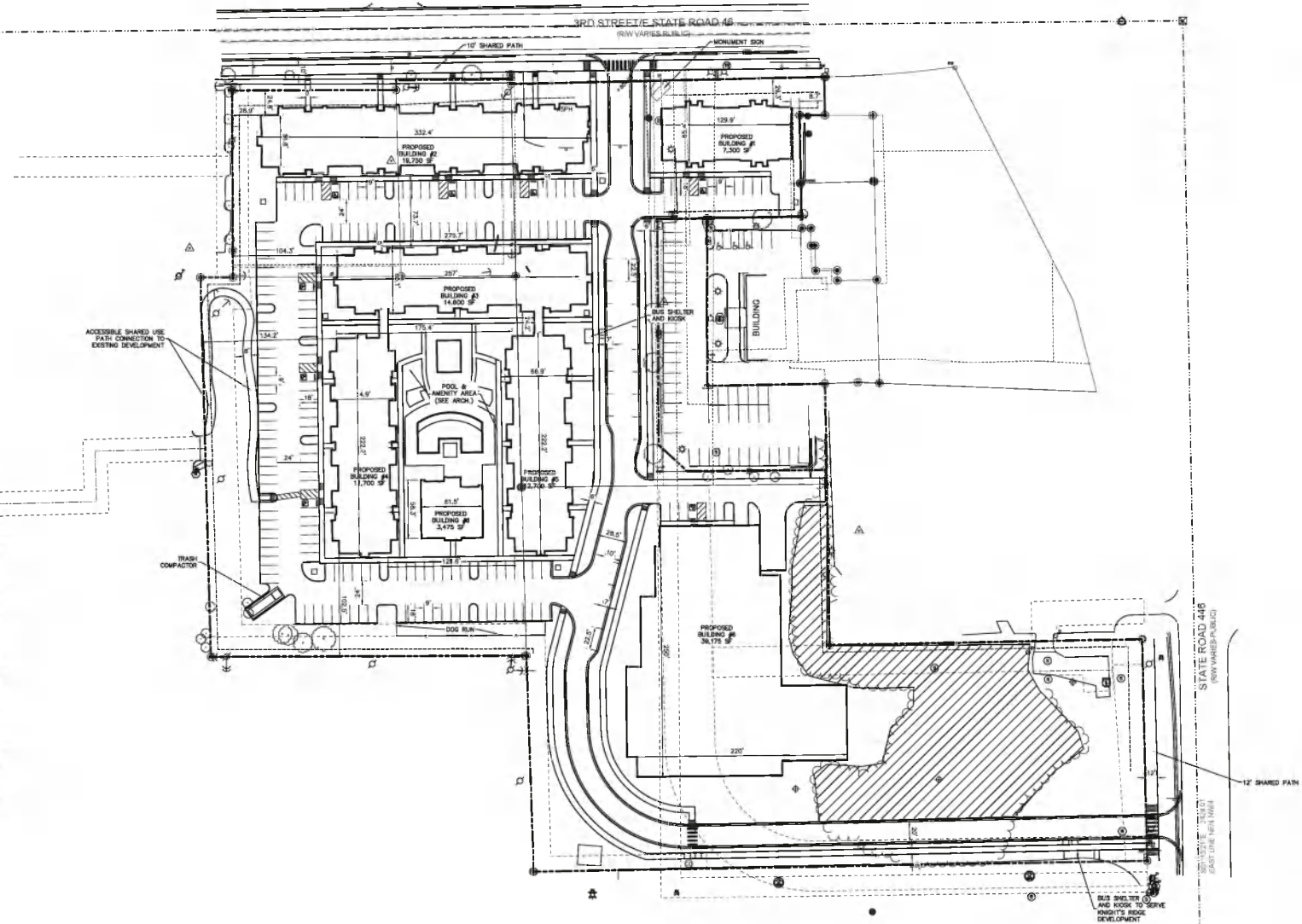
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2020.01173

OVERALL SITE PLAN

100  
C200



- GENERAL NOTES:**
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
  - SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

**!! CAUTION !!**  
 THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE INCLUDING, BUT NOT LIMITED TO, manholes, shafts, valves, and marker rods used to be located by utility and ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.  
 CALL 1011 FREE  
 "811" OR 1-800-382-8544  
 - INDIANA UNDERGROUND -

4:07 DATE: 2020/07/26 4:07 PM  
 100 SCALE: 1"=50'  
 SHEET NO.: C200/001  
 PROJECT NO.: 2020.01173  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS  
 APPROVED BY: J. HARRIS



**EXISTING LEGEND**

**BENCHMARK DATA**

BENCHMARK DATA  
 ELEVATION: 300.00  
 TO CORNER  
 TO CORNER  
 TO CORNER  
 TO CORNER



**OVERLOOK ON 3RD & CENTURY VILLAGE STORAGE**

Bloomington, IN

**GRADING LEGEND**

ME MATCH EXISTING  
 FL FLOWLINE  
 BE BOTTOM OF CURB  
 TC TOP OF CURB  
 HF HIGH POINT  
 LF LOW POINT  
 CH CHANGERS  
 SW SWALES  
 CE CURB ELEVATIONS  
 SE SPOT ELEVATIONS  
 FA FLOW ARROW  
 SL STORM SEWER LINE  
 PU PAVEMENT UNDERLAY  
 S STRUCTURES  
 RL REDE LINE  
 CB CURB BRIDGE  
 NB TO SCALE  
 THE TOP OF WALL  
 FSL FINISH GRADE AT UPPER SIDE OF WALL  
 FGL FINISH GRADE AT LOWER SIDE OF WALL

**APPROVAL PENDING NOT FOR CONSTRUCTION**

CERTIFIED BY

**ISSUANCE INDEX**

DATE: 07/28/2021  
 PROJECT PHASE: PRELIMINARY DOCUMENTS

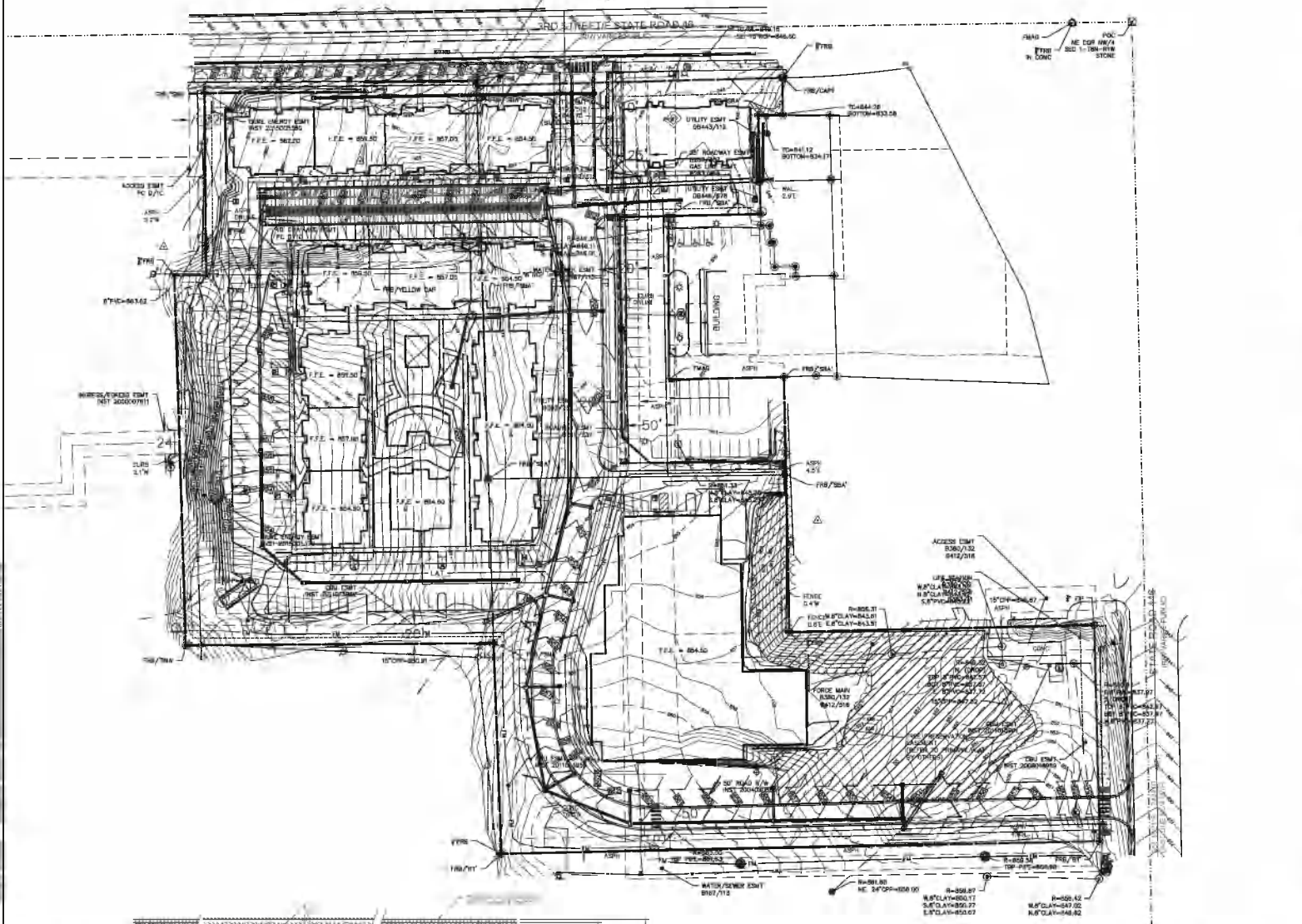
**REVISION SCHEDULE**

NO.	DESCRIPTION	DATE

Project Number 2020 01173

**OVERALL GRADING PLAN**

**161**  
**C300**



**UTILITY CONTACTS**

UTILITY	COMPANY	CONTACT	PHONE NO.
CABLE TELEVISION	COMCAST	SCOTT TEMPLETON	(317) 318-2306
ELECTRIC	DURE ENERGY	FRESLEY PAGE	(812) 375-5550
FIBER OPTIC	AT&T	ROSS CRON	(300) 300-XXXX
GAS	VECTRON	JONATHAN LASTHAIN	(317) 778-5273
SANITARY SEWER	CITY OF BLOOMINGTON UTILITIES	TRACY POWELL	(812) 348-3631
STORM SEWER	CITY OF BLOOMINGTON UTILITIES	PHIL PUGHEN	(812) 348-2469
TELEPHONE	AT&T	ROSS CRON	(300) 300-XXXX
WATER	CITY OF BLOOMINGTON UTILITIES	TRACY POWELL	(812) 348-3631

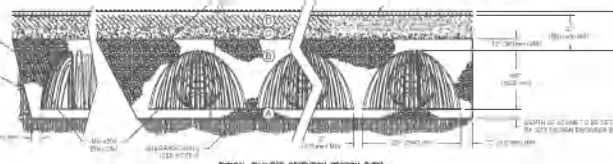
**GENERAL NOTES**

- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
- SEE SHEET C302 GENERAL NOTES FOR MORE INFORMATION.

**CAUTION**

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including but not limited to, manholes, vaults, valves, and access roads) AND BY RECORD DRAWINGS. THESE UTILITIES ARE NOT GUARANTEED TO BE EXACTLY AS SHOWN. THERE MAY BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE HAS BEEN FOUND. THE OWNER ASSUMES ALL RESPONSIBILITY FOR THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE  
 \*811 OR 1-800-368-5844  
 - NICHIANA UNDERGROUND -



2020 01173 OVERLOOK ON 3RD & CENTURY VILLAGE STORAGE - GRADING PLAN - 161



EXISTING LEGEND

UTILITY LEGEND

- E— ELECTRIC / TELECOMMUNICATIONS LINE
- W— WATER LINE
- FP— FIRE PROTECTION LINE
- GD— GAS LINE
- SS— SANITARY SEWER LINE
- S— STORM SEWER LINE
- P— PAVEMENT UNDERDRAIN
- T— ELECTRICAL TRANSFORMER
- VALVE
- WATER FITTINGS
- WATER METER PIT
- FIRE HYDRANT R/ ASSEMBLY



608 First Floor Suite 2000 2011 Northpark Drive, Suite 2000  
 771.317.2472 FAX 771.343.3275  
 www.structurepoint.com

OVERLOOK ON 3RD & CENTURY VILLAGE STORAGE

Bloomington, IN

APPROVAL PENDING  
NOT FOR CONSTRUCTION

CERTIFIED BY

ISSUANCE INDEX	
DATE:	07/28/2021
PROJECT PHASE:	PRELIMINARY DOCUMENTS

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2020 01173

OVERALL UTILITY PLAN  
 162  
 C400

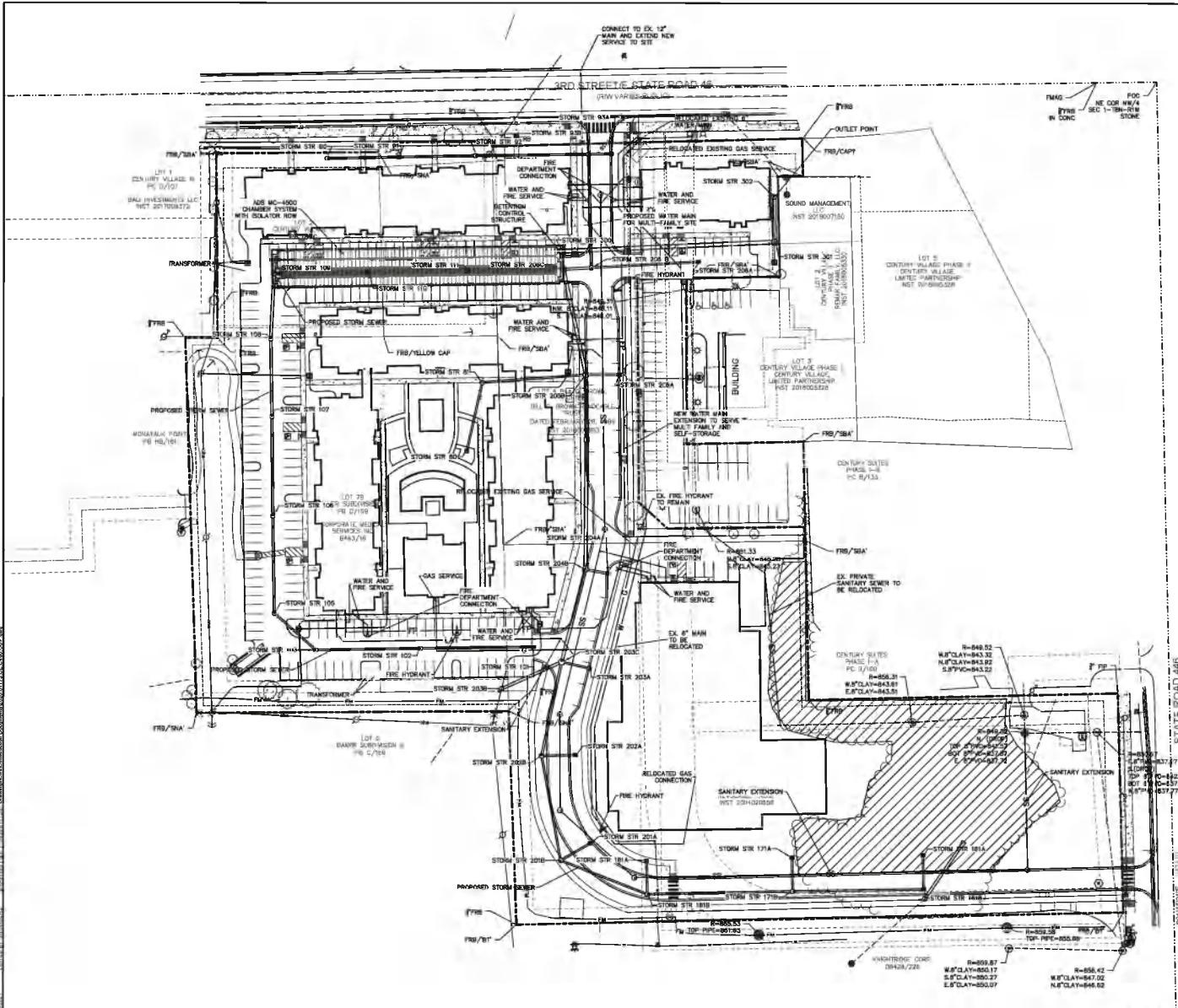
- GENERAL NOTES
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
  - CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
  - SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

**CAUTION**

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including but not limited to, manholes, vaults, valves, and other visible spots for ground to reveal) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE HAS BEEN OBTAINED. THE EXACT LOCATION OF ANY EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE  
 781.011.8500-362-5544  
 - INDIANA UNDERGROUND -

UTILITY	COMPANY	CONTACT	PHONE NO.
CABLE TELEVISION	COMCAST	SCOTT TEMPLETON	(317) 818-2356
ELECTRIC	DURE ENERGY	PRESTLEY PAGE	(812) 378-2020
FIBER OPTIC	AT&T	RUSSELL OWEN	(317) 330-3000
GAS	VECTRON	JONATHAN EASTHAM	(317) 778-8273
SANITARY SEWER	CITY OF BLOOMINGTON UTILITIES	TROY POWELL	(812) 348-3431
STORM SEWER	CITY OF BLOOMINGTON UTILITIES	PHIL PUGHEN	(812) 348-2488
TELEPHONE	AT&T	RUSSELL OWEN	(317) 330-3000
WATER	CITY OF BLOOMINGTON UTILITIES	TROY POWELL	(812) 348-3431



PROJECT DATE: 07/28/2021 4:41 PM  
 DATE PLOTTED: 08/02/2021 10:58 AM  
 USER: JLM  
 PLOT DEVICE: HPGL-ET  
 PLOT SCALE: 1:500  
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BLACK ANODIZED  
AUTOMATIC SLIDING DOOR

BLACK ANODIZED STOREFRONT  
ENTRY & SURROUND

**2 NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

ALL EXTERIOR WALL FINISH MATERIALS TO BE  
COLOR / TEXTURE VARIATIONS OF EIFS



SOLID COLOR EIFS, TYP.  
DRYWT CUSTOM BRICK, TYP.  
DRYWT LIMESTONE BANDING, TYP.

**1 WEST ELEVATION**  
SCALE: 1/8"=1'-0"



INSULATED STEEL EXIT DOOR, TYP.

SOLID COLOR EIFS, TYP.

DRYVIT CUSTOM BRICK, TYP.

DRYVIT LIMESTONE BANDING, TYP.

**4 EAST ELEVATION**  
SCALE: 1/8"=1'-0"

BLACK ANODIZED  
AUTOMATIC SLIDING DOOR

Faces tree preservation area

ALL EXTERIOR WALL FINISH MATERIALS TO BE  
COLOR / TEXTURE VARIATIONS OF EIFS

EIFS PEDIMENT & SILL, TYP.

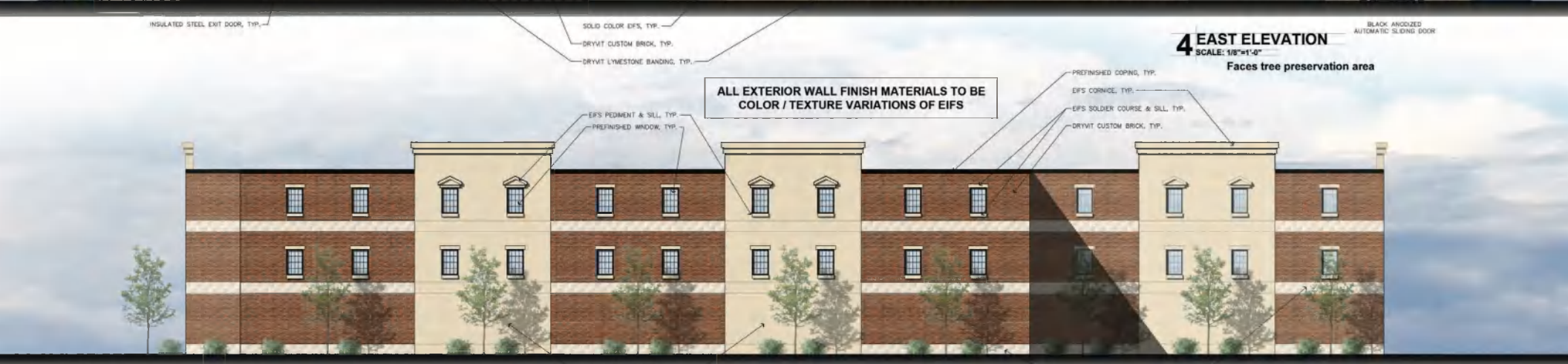
PREFINISHED WINDOW, TYP.

PREFINISHED COPING, TYP.

EIFS CORNICE, TYP.

EIFS SOLDIER COURSE & SILL, TYP.

DRYVIT CUSTOM BRICK, TYP.



SOLID COLOR EIFS, TYP.

DRYVIT LIMESTONE BANDING, TYP.

**3 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT  
Location: 1300 N Lincoln St.**

**CASE #: SP-19-21  
DATE: August 12, 2021**

**PETITIONER:** Strauser Construction Co  
453 S Clarizz Blvd.  
Bloomington, IN 47401

**CONSULTANT:** Smith Design Group, Inc.  
2755 E Canada Dr., Suite 101  
Bloomington, IN 47401

**REQUEST:** The petitioner is requesting major site plan review for a new 16-unit multifamily dwelling in the Mixed-Use Student Housing (MS) zoning district.

**BACKGROUND:**

**Area:** 0.21 acres  
**Current Zoning:** Mixed-Use Student Housing (MS)  
**Comp Plan Designation:** Neighborhood Residential  
**Existing Land Use:** Dwelling, Multifamily  
**Proposed Land Use:** Dwelling, Multifamily  
**Surrounding Uses:** North – Dwelling, Multifamily  
 South – Dwelling, Single-Family  
 East – Dwelling, Multifamily  
 West – Dwelling, Single-Family

**REPORT:** The property is located at the northeast corner of the intersection of 17<sup>th</sup> and Lincoln Streets. This property is currently zoned Mixed-Use Student Housing (MS) and has been developed with a single-family structure and 6-unit multifamily structure. All surrounding properties are also zoned MS. The petitioner is proposing to demolish the existing structures and construct a 16-unit multifamily structure on the property. The UDO requires that new developments that contain more than 15,000 sq ft be reviewed by the Plan Commission.

The proposed site plan shows a 4-story structure with a mix of studio and 2-bedroom apartments for a total of 24 bedrooms. Within the parking garage is a bicycle storage room to service residents. The property will be accessed by a driveway cut on Lincoln Street to access a basement level parking garage. This development will extend the 10' multiuse path that was started at the adjacent Evolve development to the intersection of 17<sup>th</sup> and Lincoln. They will also construct a 6' sidewalk along Lincoln Street. Street trees will be provided along both frontages.

**MAJOR SITE PLAN REVIEW 20.06.050(a)(2)(C)(ii):** Major site plan approval is required for developments that contain more than 15,000 square feet. This development contains approximately 18,105 square feet.

**SITE PLAN ISSUES:**

**Dimensional Standards:**

- **Setbacks:** The MS zoning district requires a 15ft front, side, and rear setback. The



proposed development has met these setbacks.

- **Height:** The MS zoning district allows for a maximum height of 6 stories, not to exceed 75ft. The proposed development is 4 stories with an average height of 51.5 ft.
- **Impervious Surface Coverage:** The MS zoning district allows for a maximum impervious surface coverage of 70% and a required landscaped area of 30%. The proposed development has 67.3% impervious surface coverage and 32.7% landscaped area. The UDO allows for sidewalks, trails, and paths located on private property in a pedestrian easement to not count toward the maximum impervious surface coverage or against the minimum landscape area for the property.

**Environmental:** There are no known environmental constraints or regulated environmental features on this site. A copy of the Environmental Commission's memo is included with this packet. Comment #2 of the memo does not include the revised impervious surface calculations mentioned above.

**Bicycle Parking/Alternative Transportation:** Residential uses in the MS zoning district are required to provide bicycle parking spaces at 10% of the provided vehicle parking or 1 space per 5 bedrooms, whichever is more, a minimum of 6 bicycle parking spaces are required.

The petitioner will also extend the 10 ft multiuse path along 17<sup>th</sup> Street to Lincoln Street and a 6ft sidewalk along Lincoln to connect to the adjacent properties. The multiuse path along 17<sup>th</sup> Street will be located in a pedestrian easement. Per the UDO, the portions of the multiuse path within the pedestrian easement will not count towards the maximum impervious surface coverage or against minimum landscaping requirements.

**Landscaping:** A minimum of one canopy tree shall be planted per 40 feet of property that abuts a public right-of-way. A compliant landscaping plan will need to be submitted prior to the issuance of a grading permit. A condition of approval has been added.

**Access:** This proposed development will create a new driveway access point on Lincoln Street and remove the existing driveway along 17<sup>th</sup> Street.

**Parking:** 11 vehicle parking spaces will be provided in a basement level parking garage. This property does not have a minimum vehicle parking requirement. The maximum allowed vehicle parking is 1.25 spaces per bedroom which would allow for 20 parking spaces. The petitioner's current parking does not meet the side parking setback. Though the parking is located in the building, it sticks out below the northern building wall, and is therefore required to meet the setback. The requirement is 8' from the northern property line. They are requesting a variance from the Board of Zoning Appeals to allow for a 5' side parking setback. A condition of approval has been added to make this approval contingent upon receipt of appropriate variances.

**Architecture:** The exterior facade will be finished with a mix of stone and brick veneers, fiber cement siding, metal railings and awnings. The exterior façade of the building incorporates wall elevation projections, a regular pattern of glass on the first floor, and changes in façade height to comply with the patterns requirements of the UDO. The primary pedestrian entrance is located at the SE corner of the building and incorporates a large awning, building setback, and larger amounts of glass and building address/signage.

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**GENERAL COMPLIANCE CRITERIA:** All petitions shall be subject to review pursuant to the following criteria and shall only be approved if they comply with these criteria 20.06.040(d)(6)(A).

**Compliance with this UDO:** *The proposed use and development shall comply with all applicable standards in this UDO, unless the standard is lawfully modified or varied. Compliance with these standards is applied at the level of detail required for the subject submittal.*

**Proposed Finding:** This development will meet all applicable standards in the UDO except for the side parking setback for which the petitioners are requesting a variance.

**Compliance with Other Applicable Regulations:** *The proposed use and development shall comply with all other city regulations and with all applicable regulations, standards, requirements, or plans of the federal or state governments and other relevant entities with jurisdiction over the property or the current or proposed use of the property. This includes, but is not limited to, floodplain, water quality, erosion control, and wastewater regulations.*

**Proposed Finding:** This development is in compliance with other city regulations.

**Compliance with Utility, Service, and Improvement Standards:**

1. *As applicable, the proposed use and development shall comply with federal, state, county, service district, city, and other regulatory authority standards, and design/construction specifications for roads, access, drainage, water, sewer, schools, emergency/fire protection, and similar standards.*
2. *Municipal sewer and water hookup are required for all developments except for instances where written approvals by the City Utilities Department and the County Health Department grant an exception to the hookup requirement. All sewer and water facilities shall meet the design specifications of the City Utilities Department.*
3. *When public improvements are required, the petitioner or authorized representative shall post performance and maintenance guarantees for such improvements. Such financial guarantees shall be submitted, reviewed, and approved per 20.06.060(c)(3)(E)iii (Financial Bond Required).*

**Proposed Finding:** This development is in compliance with other applicable regulations. No public improvements are required with this petition.

**Compliance with Prior Approvals:** *The proposed use and development shall be consistent with the terms and conditions of any prior land use approval, plan, or plat approval for all or part of the property that is in effect and not proposed to be changed. This includes consistency with any approved phasing plan for development and installation of public improvements and amenities.*

**Proposed Finding:** No relevant prior approvals are found with this petition.

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**CONCLUSION:** This petition meets all requirements of the UDO, except the parking setback on the northern property line. The petitioners will add 16 modern dwelling units to an area with high demand for student-oriented housing options. The multiuse path will be extended along 17<sup>th</sup> Street and sidewalks added along Lincoln Street, improving the pedestrian realm and removing a large driveway along 17<sup>th</sup> Street.

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**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plan Commission adopt the proposed findings and approve SP-19-21 with the following conditions:

1. Approval is contingent on the petitioner receiving appropriate development standards variances to allow for a 5' side parking setback, as shown on the northern side of the building.
2. The petitioner will provide the required number of bicycle parking spaces on the site plan prior to the issuance of a grading permit.
3. A landscape plan that meets all UDO requirements, including required street trees, must be submitted and approved prior to issuance of a grading permit.



City of Bloomington  
Bloomington Environmental Commission

## MEMORANDUM

Date: September 13, 2021

To: Bloomington Plan Commission

From: Bloomington Environmental Commission

Subject: SP-19-21: University Properties VI  
1300 N. Lincoln St.

The purpose of this memo is to convey the environmental concerns and subsequent recommendations for conditions of approval for this development petition. The Environmental Commission's (EC) objective is that the results of our review and suggestions will lead to enhancement of the ecosystem services provided, and the climate-change mitigation attributes of the site. This petition is seeking to reduce the landscape/greenspace required, thus, reducing the ecosystem services intended for infill.

### Comments

#### 1.) PARKING LOT PERIMETER LANDSCAPE AREA

The Parking Lot Perimeter landscape area is currently shown as 5 feet wide; not as wide as the 8 feet required. The shrubs shown in the Parking Lot Perimeter landscape area are shown to be planted about 3 feet from trunk to trunk (on center), which is too close for survivability. The large canopy trees will be planted in a bed about 3 feet wide, which is not enough root space for survivability.

The Petitioner is asking for a variance to encroach into the Parking Lot Perimeter landscaped area, and the parking lot setback area.

The parking lot is shown with typical 18-foot-deep parking spaces and a 20-foot two-way aisle. The EC recommends that the variance be changed to request a smaller width for the two-way aisle, and retain the 8-foot Parking Lot perimeter landscaped area (this also means the retaining wall cannot be within the landscaped area).

The EC is in favor of compact urban design, however, we do not think it should come at the expense of losing potential greenspace. Greenspace is an important ecosystem service that is part of the city's infrastructure portfolio. Given there is little an individual town can do to combat the climate crisis, planting more native vegetation, especially trees, is something we can, and should do.

Human activities coupled with natural variations in the carbon cycle have resulted in a significant increase in the concentration of carbon dioxide (CO<sub>2</sub>) and other "greenhouse gasses" in the atmosphere, thus causing measurable

global warming. Controlling atmospheric CO<sub>2</sub> requires deliberate action that combines reducing emissions and increasing storage, while planning for adaptation to the changes that result. Addressing greenspace protection and enhancement are some of Bloomington's most important means to help reduce our own environmental footprint.

Absorbent vegetated land, otherwise known as greenspace, plays a central role in supporting community health; improving air, soil, and water quality; reducing energy use in buildings; and supporting climate-change mitigation. Greenspace may seem like a simple term and a mere aesthetic amenity, but greenspaces are very complex in the benefits they deliver to animals, insects, and microbes and in the protection they provide to the water, air, and soil systems.

An urban greenspace (or landscape area) includes any permeable vegetated surface, public or private, set apart for recreational, aesthetic, or ecosystem services in an otherwise urban environment. It is space set aside to provide life-essential benefits people and other living things obtain from properly-functioning ecosystems. Ecosystems include the dynamic complex of plant, animal, microorganism, and human communities living in the context of certain weather regimes in a certain geologic setting.

There is one design request that the commission cannot abide; the reduced amount of greenspace. We cannot justify allowing such a change from Bloomington's vetted regulations with nothing in return to benefit the community's environmental footprint.

The Environmental Commission is opposed to this greenspace/landscape reduction and recommends denial unless the full amount is dedicated and planted as mandated in the UDO's minimum requirements.

## 2.) IMPERVIOUS SURFACE COVERAGE

The Petitioner's Statement says that they have provided the required 30% landscape area. However 30% of 0.21 acres (total for the site) equals 0.063 acres, not 0.05 as the Landscape Plan says. Furthermore, 0.16 acres of impervious surface coverage equals 76.2% of 0.21 acres; not 70%. Please recalculate the pervious surface that is to be landscaped.

## 3.) LANDSCAPE PLAN

The Landscape Plan will need to be modified to reflect the correct amount of pervious surface and a full-sized Parking Lot Perimeter landscape area.

## 4.) GREEN BUILDING PRACTICES

The EC is disappointed that there are no green building products or practices used at this site. This is something that the developer should incorporate regardless of the UDO incentives that could be granted, or of the outdated minimum building standards they are required by the state to follow. Buildings produce much of the CO<sub>2</sub> released to the atmosphere, so it is the responsibility of architects and builders to design and build buildings such that they do not continue to be one of our major polluters.

The EC believes that our city and our culture has got to embrace a paradigm to reduce building CO<sub>2</sub> emissions if we are going to combat our current climate crisis, and it is each petitioner's obligation to contribute. This includes calculating a building's total environmental footprint using the embodied energy expended as well as operational energy. Embodied energy is the energy used to make the materials and transport them, and to build the building, while operational energy is the energy used to heat, cool, and operate buildings –what we have traditionally looked at when considering energy efficiency. For example, in the past it was common to consider concrete efficient because it doesn't use any energy, but concrete has a very high embodied energy value –a large environmental footprint to manufacture, while its operational energy is not nearly as high. Therefore, it is the responsibility of everyone, especially builders, to contribute to the city's mitigation efforts.

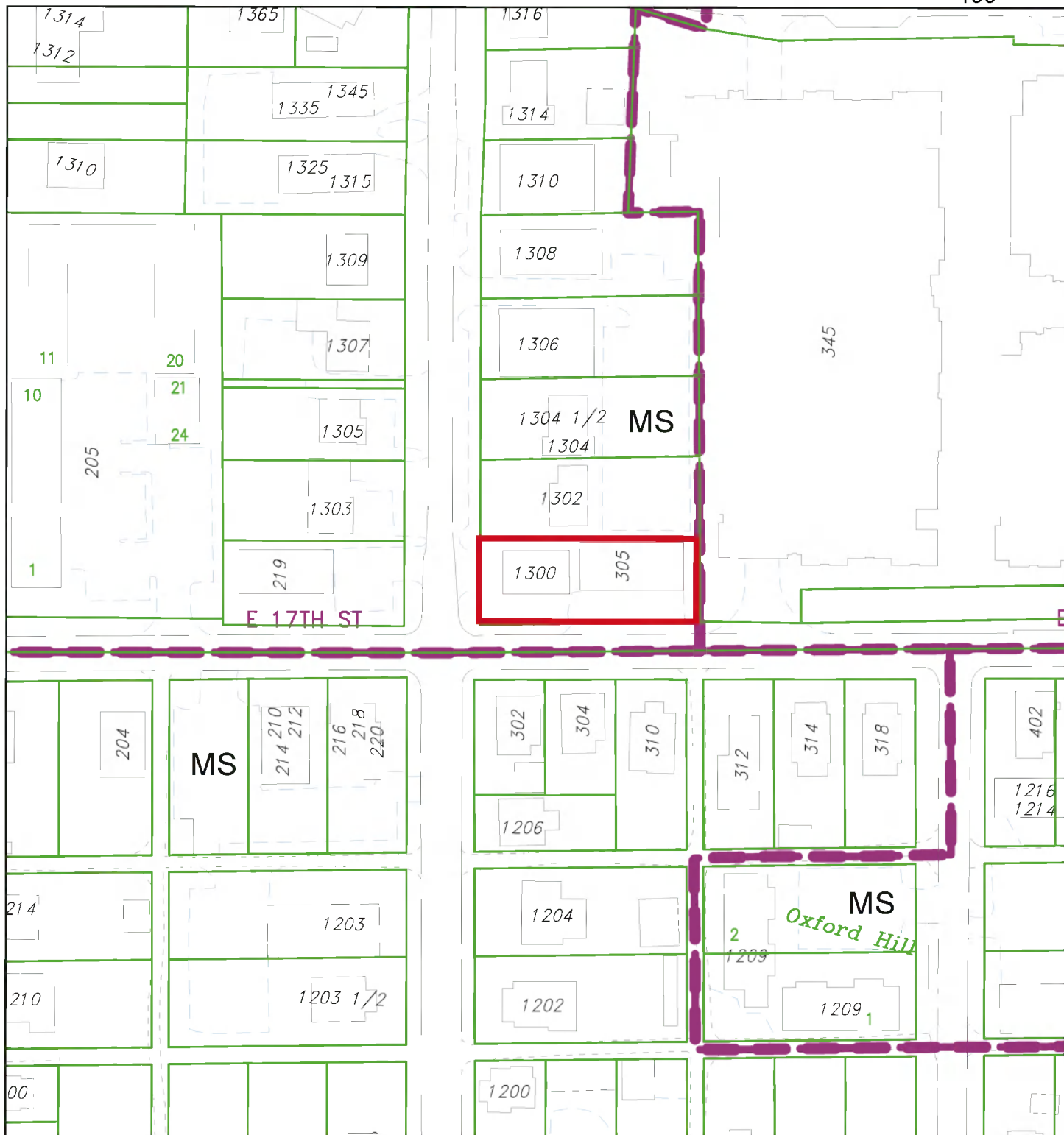
Because modernizing building methods is so important to the future, and renters prefer a more modern approach of sustainable living, the EC recommends that the Petitioner follow the guidelines from the US Building Council's LEED Platinum certification for green building specifications.



## City of Bloomington Bloomington Environmental Commission

### **Recommended Conditions of Approval**

- 1.) Recommend denial of the variance request to encroach into the Parking Lot Perimeter landscape area, and request a variance to reduce the width of the driving aisle in the parking lot, leaving the landscaped area 8-feet wide (from the outside of the retaining wall).
- 2.) Provide a corrected pervious surface calculation.
- 3.) The Landscape Plan needs a number of revisions.
- 4.) Incorporate green building practices in this plan.



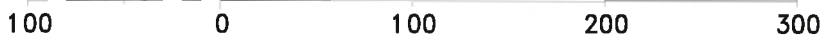
City of Bloomington  
Planning



Scale: 1" = 100'

By: keegan.gulick

10 Sep 21



For reference only; map information NOT warranted.



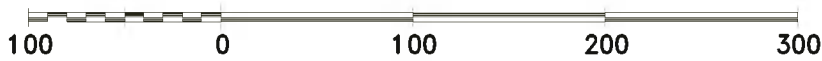
City of Bloomington  
Planning



Scale: 1" = 100'

By: keegan.gulick

10 Sep 21



For reference only; map information NOT warranted.





Todd M. Borgman, P.L.S.

Katherine E. Stein, P.E.

Don J. Kocarek, R.L.A.

Stephen L. Smith

September 13, 2021

City of Bloomington Plan Commission  
City of Bloomington Planning & Transportation Department  
Showers Building Suite 130  
401 N Morton St  
Bloomington, Indiana 47404

Dear Keegan and Members of the Plan Commission,

For your consideration, University Properties VI, LLC is submitting to you this petition for Major Site Plan Approval for a 0.21 acre property located at 1300 N Lincoln St. The site is zoned Mixed-Use Student Housing (MS).

The surrounding properties consist of single-family residential, multi-family residential, and office uses. The site is currently fully developed and there are no known environmental issues on site. There are two existing buildings on site: a six-unit multifamily residence and a single family residence. There are currently three driveways with 8 perpendicular parking spaces off of E 17<sup>th</sup> St and 2 off of N Lincoln St on the property.

The proposed project consists of the demolition of the two existing buildings on site and the construction of a four story multifamily residential building with 16 units and a basement level 10-space parking garage. Per the city's 2019 Transportation Plan guidance the street frontage along E 17<sup>th</sup> St will be improved to have a 5 foot wide street tree planter area and a 10 foot wide multi-use path. The street frontage along N Lincoln St will be improved to have a 6 foot wide street tree planter and a 6 foot wide sidewalk. The existing three driveways will be reduced to one driveway off of N Lincoln St and the existing perpendicular parking off of the public streets will be eliminated. Six bicycle parking spaces as required by the UDO will be provided near the building's primary entrance off of E 17<sup>th</sup> St. The project will provide a minimum of 30% landscape area and a maximum of 70% impervious surface area per the UDO. Drainage from the site will be managed as required by city utilities.



Todd M. Borgman, P.L.S.

Katherine E. Stein, P.E.

Don J. Kocarek, R.L.A.

Stephen L. Smith

The architectural design responds to the scale and character of recent development in the area, particularly the Evolve complex directly to the east, by incorporating a playful mix of materials, balconies and scale. The exterior will consist of a mixture of stone and brick veneers, fiber cement siding, metal railings and awnings and large windows and glass doors. Each unit contains an ample patio or balcony that adds visual interest and activity along 17th Street. The main pedestrian entry at the SE corner of the building is highlighted by a large awning and building setback above as well as larger amounts of glass and building address/signage. The basement level parking will be wrapped with a combination of brick and thin stone veneer and broken up with ample patios and stairs that provide direct access to the new pedestrian pathway along 17th Street. The upper level apartments contain a mix of studio and 2 bedroom units accessed via an exterior balcony from the north that connects the stair towers at each end.

The desire is to begin construction in October of 2021 and be complete by August of 2022.

Thank you for your consideration of this petition.

Regards,

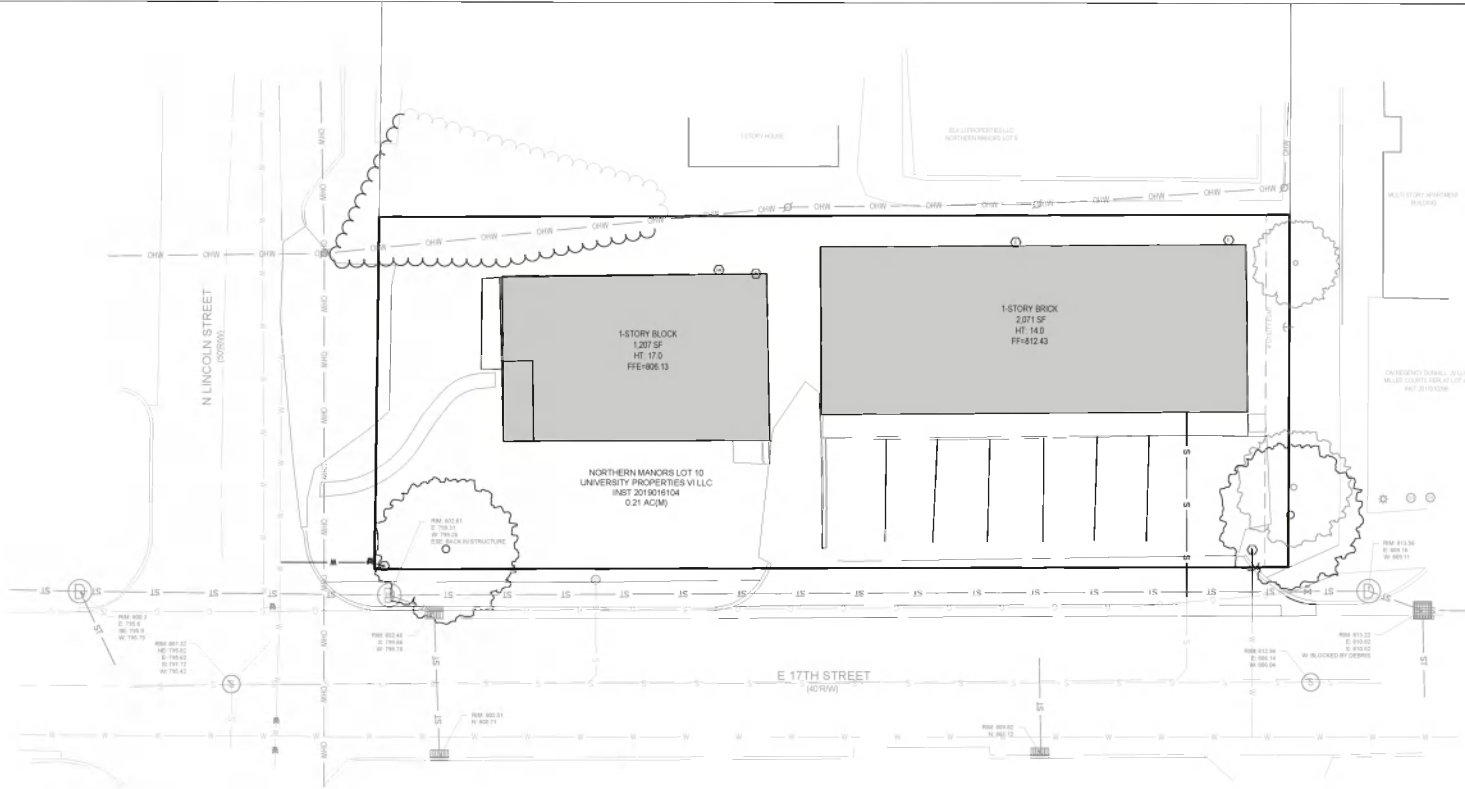
A handwritten signature in blue ink, appearing to read 'Kendall Knoke', is written over a light blue circular stamp.

Kendall Knoke

Smith Design Group, Inc.

812-336-6536 Ext. 3

kknoke@smithdginc.com



**DEMOLITION NOTES**

1. CALL IN UTILITY LOCATES PRIOR TO CONSTRUCTION TO CONFIRM THE LOCATIONS OF THE EXISTING UTILITIES PRIOR TO DIGGING.
2. PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITY, CONTRACTOR SHALL COORDINATE AN ON-SITE MEETING WITH CITY PLANNING, ENGINEERING AND CDD TO REVIEW SCOPE OF WORK.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF DISCONNECTION OF PUBLIC UTILITIES WITH RESPECTIVE UTILITY SERVICE PROVIDERS.
4. ANY SIGNS REQUIRING REMOVAL TO EXECUTE THE WORK SHALL BE REMOVED, STORED AND RE-SET UPON COMPLETION OF CONSTRUCTION.
5. USE OF THE PUBLIC S/W REQUIRES PRIOR APPROVAL FROM CITY S/W.
6. WORK WITHIN THE S/W REQUIRES A CITY S/W EXCAVATION PERMIT AND BOND.
7. FOR PUBLIC ROAD, SEVERAL CLOSURE SIGNAGE IS REQUIRED AT THE NEAREST STREET CROSSING LOCATION IN BOTH DIRECTIONS OF TRAVEL.
8. BUILDING, FOOTINGS, SLABS AND FOUNDATIONS SHALL BE REMOVED COMPLETELY AND THE RESULTING EXCAVATION BACKFILLED WITH COMPACTED GRANULAR MATERIAL. IF LOCATED WITHIN AREAS OF IMPROVED PLACEMENT, TREES AND STUMPS SHALL BE REMOVED COMPLETELY AND THE RESULTING EXCAVATION BACKFILLED WITH COMPACTED GRANULAR MATERIAL. IF LOCATED WITHIN AN AREA OF IMPROVED PLACEMENT.
9. BURNING OF DEMOLITION MATERIALS ON SITE IS NOT PERMITTED.
10. THROUGH AN REMOVES STORM WATER NOISE IS NOT REQUIRED FOR THIS SITE, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MAINTAINING AND MONITORING ON-SITE EROSION CONTROL DEVICES DURING CONSTRUCTION.
11. IF TRACKING OF MATERIAL OR/ADJACENT PUBLIC BUILDINGS OCCUR, TRACKED MATERIAL SHALL BE CLEANED DAILY.
12. ADDITIONAL IMPROVEMENTS ON DEMOLITION CAN BE ADJACENT TO THE USE AREA HAVE BEEN COMPLETED SINCE TOPOGRAPHIC SURVEY WAS COMPLETED, CONSULT ENGINEER IF ADDITIONAL IMPROVEMENTS RESULTING IN A CHANGE OF PLAN ARE OCCURRED.
13. REMOVE EXISTING PARKING BLOCKS AND SIGNS ON SITE.
14. CLEAR EXISTING SIGNS AND UNDERLINGS ON SITE.
15. PRIOR TO CONSTRUCTION, CONTACT THE GULF ENERGY SERVICE CENTER AT 800-734-8273 TO SCHEDULE THE DISCONNECTION AND REMOVAL OF EXISTING ELECTRIC SERVICE.
16. PROTECT ALL UTILITIES NOT CALLED OUT TO BE REMOVED.
17. COORDINATE ANY ON-SITE TEMPORARY POWER NEEDS DURING CONSTRUCTION WITH GULF ENERGY.

**DEMOLITION NOTES**

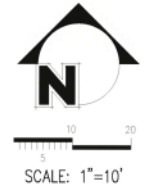


NOT FOR CONSTRUCTION  
XX/XX/20XX

17TH AND LINCOLN APARTMENTS  
BLOOMINGTON, INDIANA

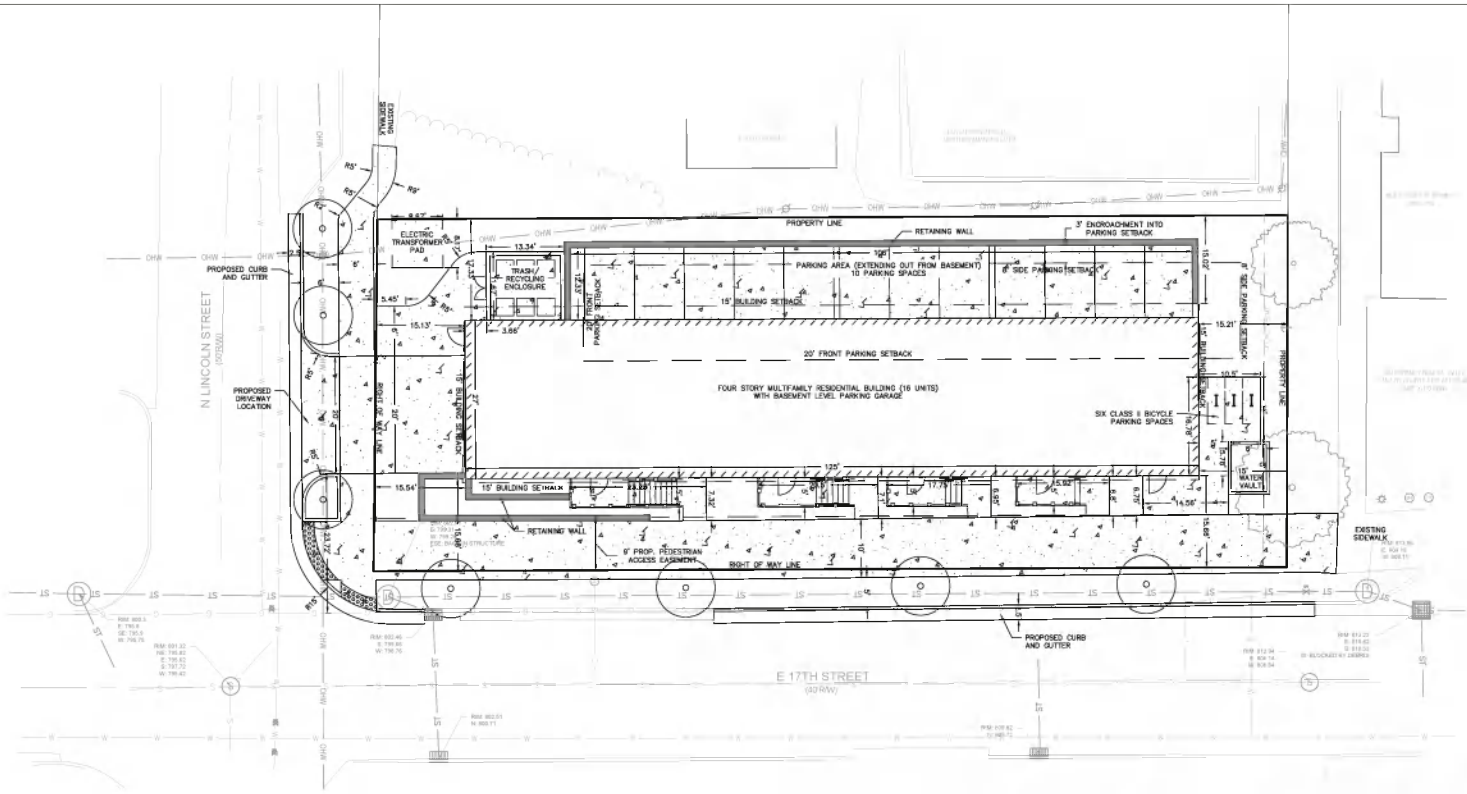
REVISED	BY	DATE

DESIGNED	CKC	DATE
CHECKED	CKC	
APPROVED		



JOB NUMBER  
**6295**  
SHEET  
**1 OF 5**  
DATE  
**08/26/2024**  
DEMOLITION PLAN

**17TH AND LINCOLN APARTMENTS  
 BLOOMINGTON, INDIANA**



**SITE PLAN NOTES**

1. THE 300 BLOCK OF E 17TH ST IS CLASSIFIED AS "GENERAL URBAN WITH MULTI-USE ZONING" IN THE TRANSPORTATION PLAN WHICH CALLS FOR A 5 FOOT WIDE TREE PLANT AND 10 FOOT WIDE MULTI-USE PATH.
2. THE 1500 BLOCK OF N LINCOLN ST IS CLASSIFIED AS "NEIGHBORHOOD RESIDENTIAL" IN THE TRANSPORTATION PLAN WHICH CALLS FOR A 6 FOOT WIDE TREE PLANT AND 8 FOOT WIDE SIDEWALK.

**SITE PLAN LEGEND**

(C) CONCRETE



REVISIONS	DATE

DATE	BY

JOB NUMBER  
**6295**

SHEET  
**2** OF **5**

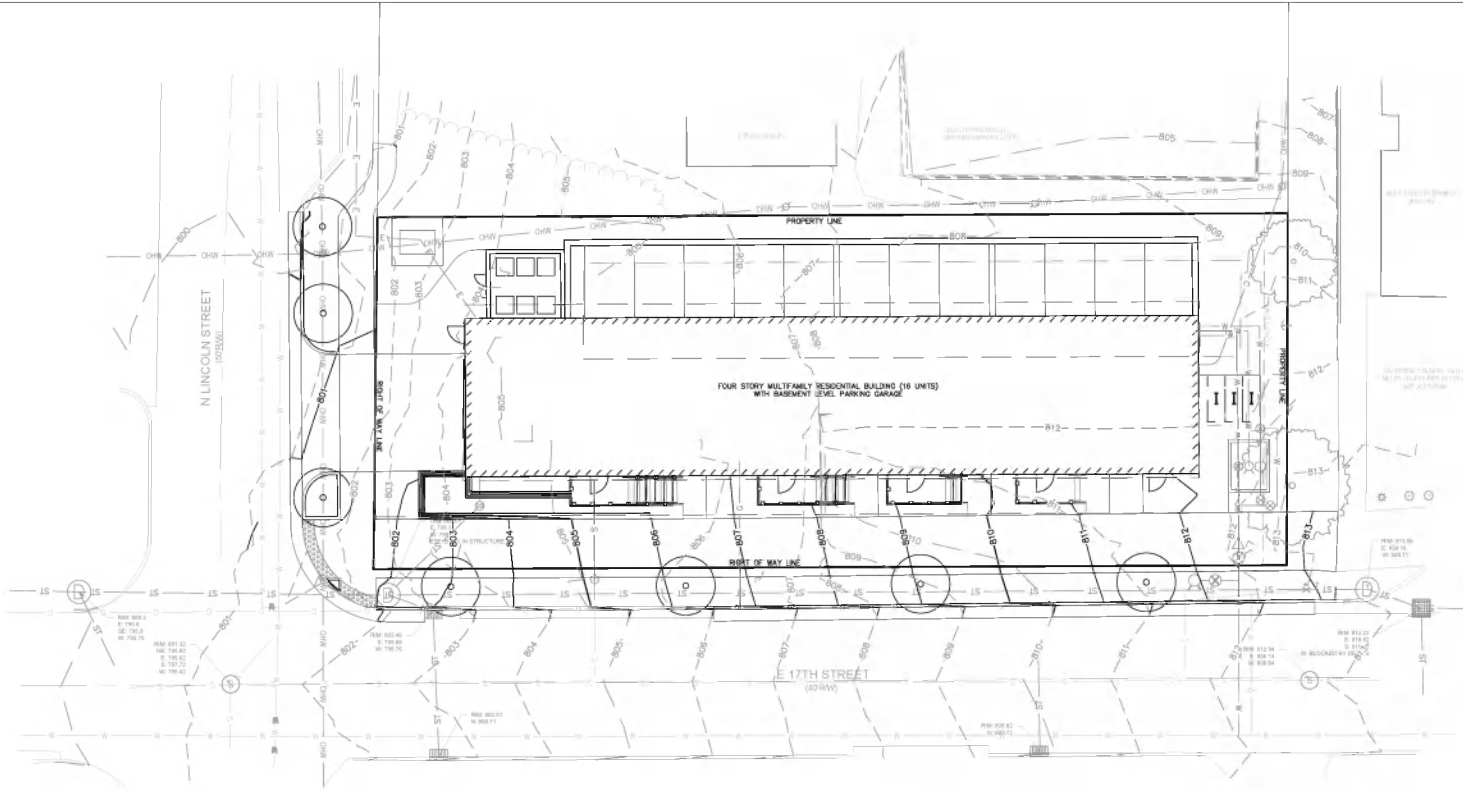
DATE  
**08/26/2024**

SITE PLAN



SCALE: 1"=10'





**GRADING LEGEND**

EXISTING MINOR CONTOUR	----
EXISTING MAJOR CONTOUR	-----
PROPOSED MINOR CONTOUR	_____
PROPOSED MAJOR CONTOUR	-----
EXISTING ELEVATION	Ex XXX.XX
PROPOSED ELEVATION	XXX.XX
EDGE OF PAVEMENT ELEVATION	EP = XXX.XX
BACK OF CURB ELEVATION	BC = XXX.XX
HIGH POINT	XXX.XX HP
LOW POINT	XXX.XX LP
BOTTOM OF WALL	XXX.XX BW
TOP OF WALL	XXX.XX TW



NOT FOR CONSTRUCTION

XX/XX/20XX

**17TH AND LINCOLN APARTMENTS  
BLOOMINGTON, INDIANA**

REVISIONS	DATE

DATE	BY	REVISIONS

JOB NUMBER  
**6295**

SHEET  
**4 OF 5**

DATE  
**08/26/2024**

GRADING PLAN

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REVISIONS	DATE

KCK	KCK	CHECKED
KCK	KCK	DATE

**17<sup>th</sup> and Lincoln Apartments**  
 Zoned-MD-Give Multi Family Housing

**Streetcaper Landscaper**  
 3 trees per every 40' of right of way required.  
 Lincoln Street, N/W +00' @ 20' spacing for small trees under power lines +3 trees  
 17<sup>th</sup> street right of way 150', 4 trees required.

**Parking Lot Performance 32 parking Spaces total**  
 1 tree and required for every 4 spaces, 3 trees required.  
 6 shrubs required for every parking space, 36 shrubs required.  
 One endcap tree provided.

**Interior plantings**  
 Total Site = 21 of  
 Area not covered by building and hardscape = .05 ac  
 14 large canopy trees, 3 evergreen trees, and 3 medium or small canopy trees per acre of pervious area  
 1 large canopy trees required, 1 evergreen tree required, 3 medium/small tree required.  
 16 shrubs per acre, with a minimum of 50 percent of the required shrubs being evergreen species, 7 shrubs required.

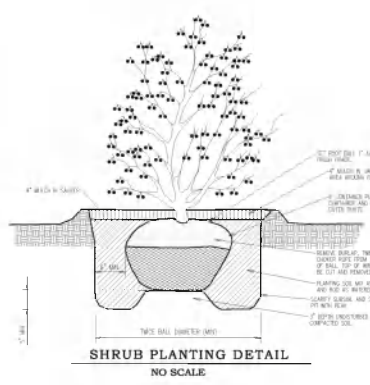
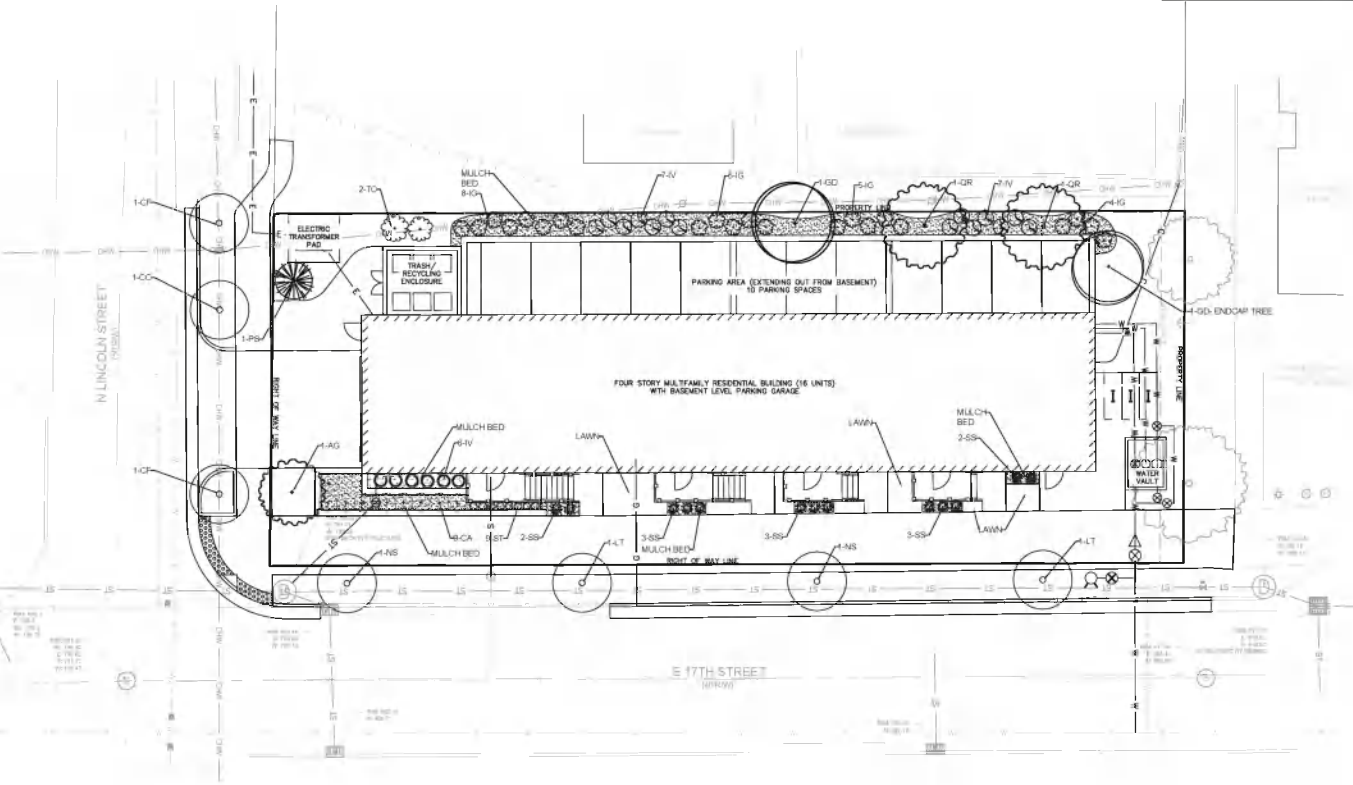
QTY	SIZE	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES</b>				
AG	1	AEOLUS glabra	Ohio Buckeye	2" Caliper
CC	1	QUERCUS canadensis	Eastern Redbud	2" Caliper
CF	2	CORNUS florida	Flowering Dogwood	2" Caliper
GD	2	GYMNOCADUS dioica	Kentucky Coffee Tree	2" Caliper
LT	2	LINDOENDRON tulipifera	Tulip	2" Caliper
NS	2	NYSSA sylvatica	Tupelo	2" Caliper
PS	1	PAULS STRONGUS	White Pine	6' Height
QR	2	QUERCUS rubra	Northern Red Oak	2" Caliper
<b>SHRUBS</b>				
IG	22	ILEX glabra	Hollyberry	3 Gallon
IV	14	ITEA virginica	Virginia Sweetgale	3 Gallon
TC	2	TAXUS Canadensis	Canadian Yew	3 Gallon

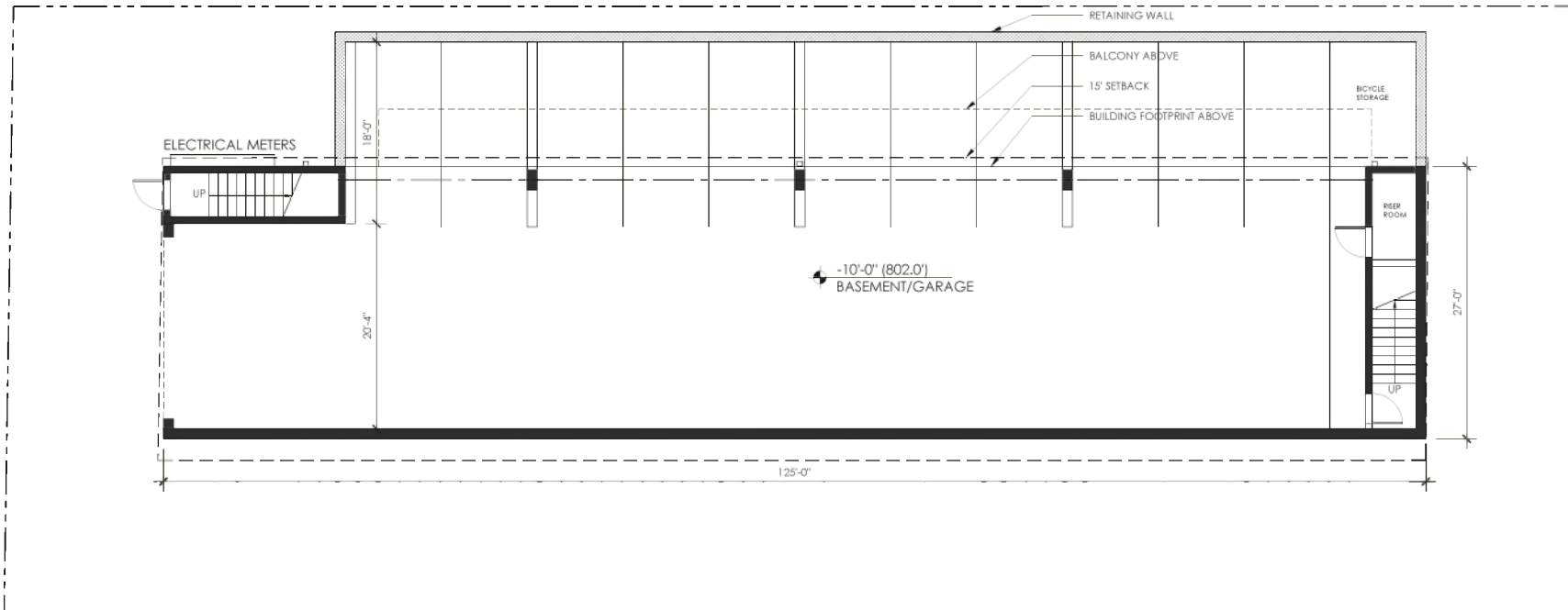
QTY	SIZE	BOTANICAL NAME	COMMON NAME	SIZE
<b>ADDITIONAL PLANTS NOT REQUIRED BY CODE</b>				
<b>SHRUBS</b>				
CA	9	CEANOTHUS americanus	New Jersey Tea	3 Gallon
IV	6	ITEA virginica	Dwarf Virginia Sweetgale	3 Gallon
<b>GRASSES AND GROUNDCOVERS</b>				
SS	13	SCHIZACHYRIUM scoparium	Little Blue Stem	1 Gallon
ST	9	SEDUM tetraum	Wild Stonecrop	1 Gallon

**LANDSCAPE NOTES**  
 1) PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED IN WRITING BY CITY PLANNING PRIOR TO INSTALLATION.  
 2) ALL LANDSCAPED BEDS AND ISLANDS SHALL RECEIVE A MINIMUM OF 18" OF PLANTING MIX 4" OF SIEVED HARDWOOD BARK MULCH, METAL OR PLASTIC EDGING AROUND LANDSCAPE BEDS IS NOT REQUIRED. BEDS SHALL HAVE A GRADE CUT EDGE.  
 3) THE PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING EXISTING AND NEW LANDSCAPES AS SHOWN ON THE APPROVED PLAN.

**FINISH LAWN TYPE**  
 FINISHED SEED MIXTURE shall be 50 lbs/ac of Perennial Ryegrass, 50 lbs/ac of Certified Common Kentucky Bluegrass, and 50 lbs/ac of Kentucky Stenopogon or approved equivalent. Contractor shall seed at a rate of 100 lbs/acre.

TOTAL SITE AREA = 21 AC  
 PERVIOUS AREA = .05 AC  
 IMPERVIOUS AREA = 16 AC





01 BASEMENT FLOOR PLAN  
A2.0 SCALE: 3/16" = 1'-0"



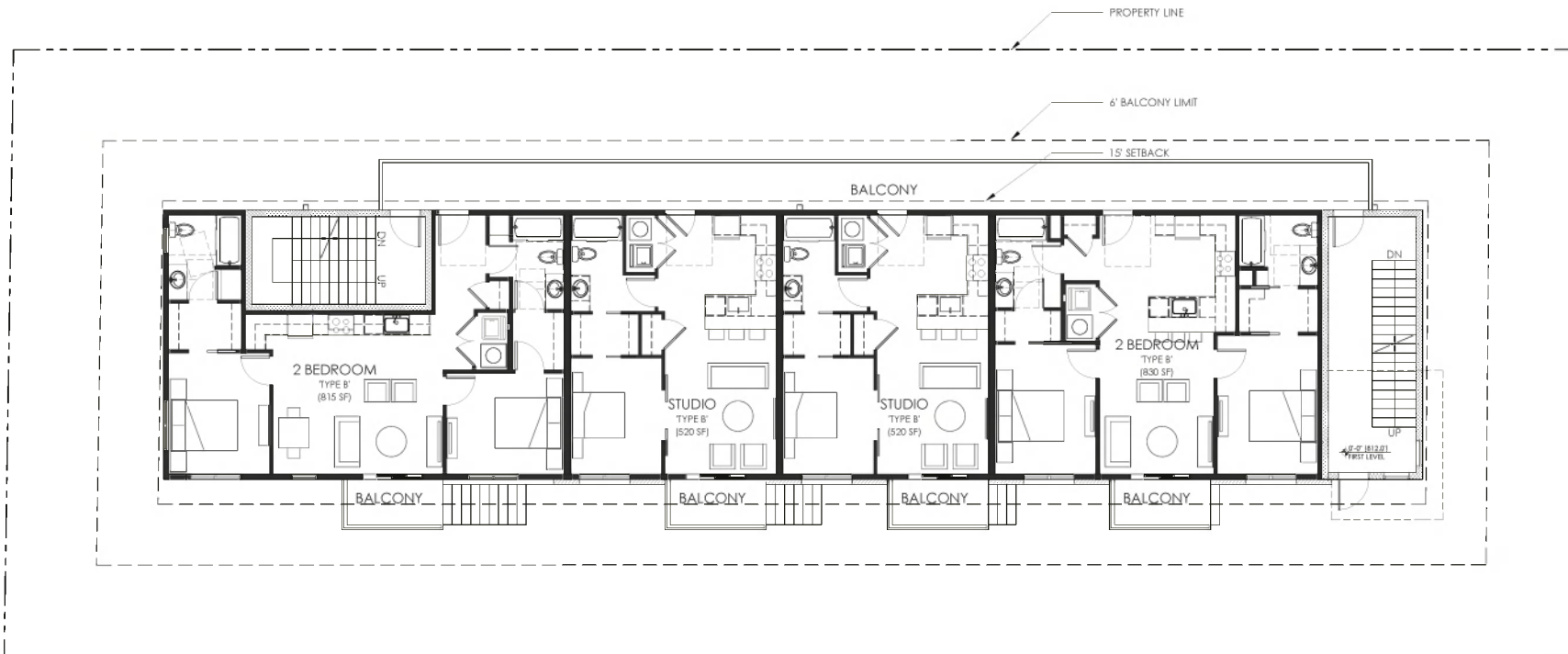
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**A2.0**

BASEMENT  
FLOOR PLAN





01 FIRST FLOOR PLAN  
A2.1 SCALE: 3/16" = 1'-0"



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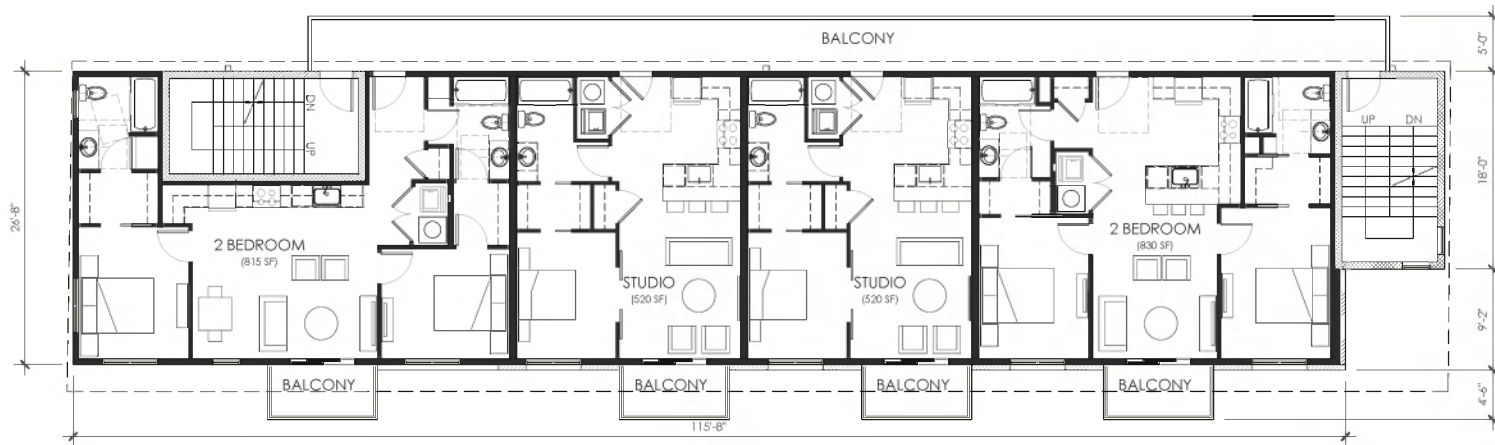


01 SECOND FLOOR PLAN  
A2.2 SCALE: 3/16" = 1'-0"



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01 THIRD FLOOR PLAN  
A2.3 SCALE: 3/16" = 1'-0"

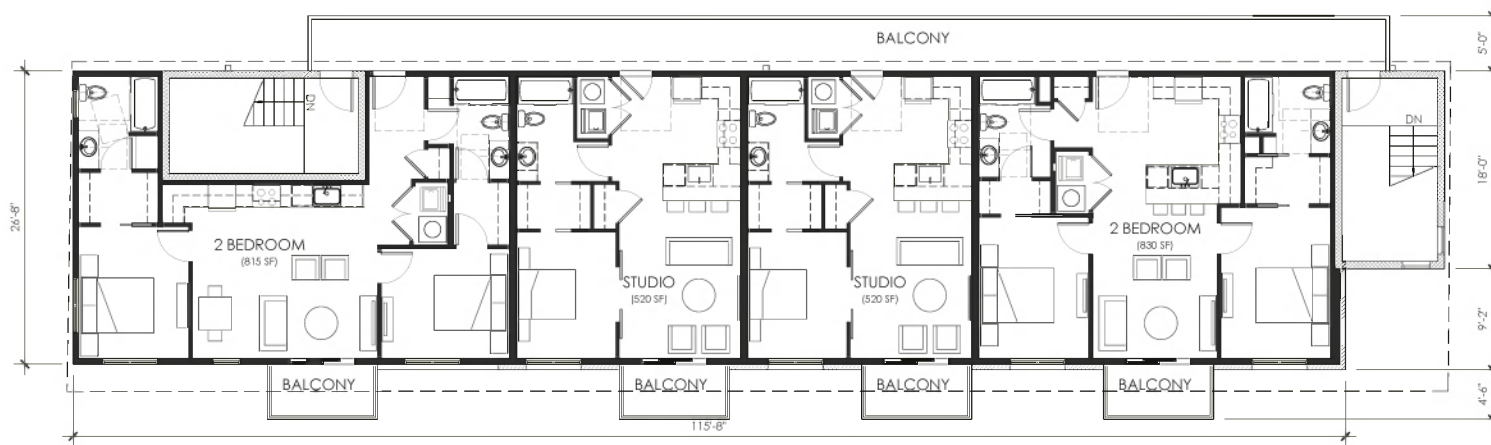


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**A2.3**

THIRD FLOOR  
PLAN



01 FOURTH FLOOR PLAN  
A2.4 SCALE: 3/16" = 1'-0"



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**A2.4**

FOURTH FLOOR  
PLAN



01 SOUTH ELEVATION  
A3.0 SCALE: 3/16" = 1'-0"

DATE 07.02.20

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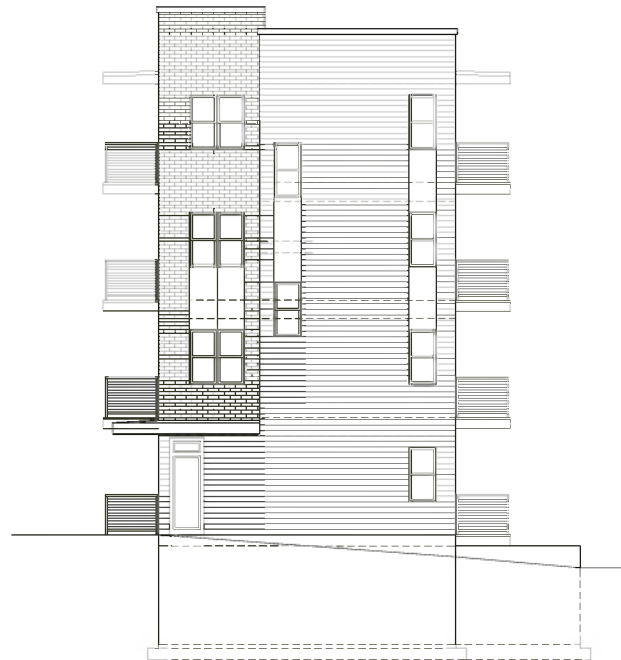
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**A3.0**

SOUTH  
ELEVATION



02 WEST ELEVATION  
A3.1 SCALE: 3/16" = 1'-0"



01 EAST ELEVATION  
A3.1 SCALE: 3/16" = 1'-0"



DATE 07.02.20

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**A3.1**

EAST & WEST  
ELEVATIONS

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT  
LOCATION: 1211-1213 S. High Street**

**CASE #: DP-23-21  
DATE: September 13, 2021**

**PETITIONER:** Privet Drive LLC (Evan Martin)  
2200 S. Walnut Street

**CONSULTANT:** Daniel Butler, Bynum Fanyo Associates  
528 N. Walnut Street

**REQUEST:** The petitioner is requesting a Primary Plat approval to change 3.5 lots to 4 lots and a waiver of second hearing.

**REPORT:** The site is located at 1211-1213 S. High Street and is zoned Residential Medium Lot (R2). The site currently contains one single-family structure and one large garage accessory structure. Surrounding land uses are all single-family and zoned R2. The petitioner went through the Demolition Delay process and has received approval from the Historic Preservation Commission to demolish the home on the property.

The site currently contains 3 lots and one half lot. The other portion of the half lot was subdivided at some point and a single-family structure was built on that half lot. All existing lots maintain frontage on S. High Street. There is floodplain located on the southern portion of the site. The petitioner is requesting to re-plat the lots to create four lots, two with frontage along S. High Street, and two behind those lots, all to utilize a shared access driveway from S. High Street.

With this petition, the petitioner is requesting a waiver from Section 20.05.050(e)(3)(D) of the UDO that requires all new single-family, duplex, triplex, and fourplex residential lots to have frontage on a public street right-of-way.

**PRIMARY PLAT REVIEW:** The Plan Commission shall review the primary subdivision petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision), based on the general approval criteria in Section 20.06.040(d)(6) (Approval Criteria) and the following standards:

- i. All subdivision proposals shall be consistent with the need to minimize flood damage.
- ii. All subdivision proposals shall have public utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.
- iii. All subdivision proposals shall have adequate drainage provided to reduce exposure to flood hazards.
- iv. Base flood elevation data shall be provided for subdivision proposals and other proposed development (including manufactured home parks and subdivisions), which is greater than the lesser of 50 lots or five acres.
- v. All subdivision proposals shall minimize development in the SFHA and/or limit intensity of development permitted in the SFHA.
- vi. All subdivision proposals shall ensure safe access into/out of SFHA for pedestrians

and vehicles (especially emergency responders)

**PROPOSED FINDING:** The subdivision proposal does allow for adequate development area outside of the floodway on the southern portion of the property. However, no drainage proposal has been submitted to address potential exposure to flood hazards.

20.06.040(d)(6)(B) General Compliance Criteria

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals
- v. Consistency with Comprehensive Plans and Other Applicable Plans
- vi. Consistent with Intergovernmental Agreements
- vii. Minimization or Mitigation of Adverse Impacts
- viii. Adequacy of Road Systems
- ix. Provides Adequate Public Services and Facilities
- x. Rational Phasing Plan

**PROPOSED FINDING:** The petition does not meet all UDO requirements related to design and configuration of lots in the R2 zoning district. The Unified Development Ordinance (UDO) requires that all new single-family and plex residential lots maintain frontage along a public right-of-way. The petitioner is proposing two lots to be located behind lots with frontage. This petition was taken to the Development Review Committee where concerns were raised regarding providing City services to the rear lots. Those lots would not be eligible for City waste and recycling services. Rear lots traditionally also create safety concerns for emergency management providers, which is part of why they are not allowed in the UDO. These concerns were shared with the petitioner, but no changes were made. The petition does not meet the General Compliance Criteria requirements.

---

**PLAT REVIEW:**

**Right-of-Way Dedication:** Right-of-way dedication along S. High Street is required and shown to meet the minimum requirements of the Transportation Plan. The petitioner will work with Planning and Transportation staff to ensure that the appropriate and required facility is installed. A condition of approval will be recommended if the petition is approved.

**Floodplain:** There is floodplain shown in the southern portion of the proposed subdivision. The Environmental Commission has concerns about that area, and its memo is included.

**Development Standards:** Each of the proposed lots can meet development standards such as minimum lot size, and setbacks for development. However, the two eastern lots do not meet the requirement of frontage on S. High Street. The petitioner is requesting a waiver from that requirement.

---

**CONCLUSION:** While the Department encourages density in the developed portions of Bloomington, lot creation and alteration must be done in a way that is consistent with safety and



access standards that are established in the UDO. The Department has encouraged the petitioner to redesign the lots so that each can meet the frontage requirements, but has seen no such design. The Department believes that an improved design could occur that meets code, while allowing for shared driveway access, and continues to encourage the petitioner to explore that option.

---

**RECOMMENDATION:** Staff recommends adopting the proposed findings for DP-23-21 and the associated waiver and denial of this petition.



City of Bloomington  
Bloomington Environmental Commission

## MEMORANDUM

Date: September 13, 2021

To: Bloomington Plan Commission

From: Bloomington Environmental Commission

Subject: DP-23-21: Privet Drive, LLC; Infill Subdivision  
1211-1213 S. High St.

The purpose of this memo is to convey the environmental concerns and subsequent recommendations for conditions of approval for this development petition. The Environmental Commission's (EC) objective is that the results of our review and suggestions will lead to enhancement of the ecosystem services provided, and the climate-change mitigation attributes of the site.

The subdivision standards state, among other things, that the purpose of a subdivision is to protect the natural environment by promoting the use of good design, landscape architecture, and civil engineering to preserve and enhance natural topographic features, watercourses, drainage ways, floodplains, native vegetation, and trees and to control erosion and minimize runoff. The EC does not believe this has been demonstrated.

Additionally, an Infill Subdivision's purpose is partially to facilitate development on existing parcels not characterized by significant environmental constraints. This site has considerable environmental constraints that must be avoided.

### **Comments**

#### 1.) ONE HEARING vs TWO

The EC believes that this case should have both required hearings. There are many issues with this petition that need to be discussed, therefore justification for both hearings seems prudent.

#### 2.) FLOODPLAIN PROTECTION EASEMENT

The purpose of the city's Floodplain standards is to promote the public health, safety, and general welfare and to minimize public and private losses due to flood conditions in specific areas. It is evident that storms are getting stronger and more frequent with flood damage as one result. Therefore the EC will not endorse any development that does not fully protect all floodplains (Special Flood Hazard Area,

SFHA) and local flooding areas, nor will we endorse any variances to our minimum floodplain standards. This petition has made no attempt to protect the undevelopable floodplain or provide the required floodplain easement.

This Infill Subdivision is required to create a recorded easement for the floodplain following the General Standards in 20.05.040, and provide a facilities plan (maintenance plan) for the floodplain, which the lot owner is responsible for. The EC recommends that the Floodplain Easement follow the Conservancy Easement requirements also.

### 3.) RIPARIAN BUFFER EASEMENT

The Petitioner is responsible for creating a 25-foot Riparian Buffer Easement on the proposed lot # 4, per 20.04.030 (f) Riparian Buffer and 20.05.040, and provide two of the best management practices listed in the UDO.

### 4.) STORMWATER DRAINAGE PLAN

The Petitioner shall submit for approval a Stormwater Drainage Plan. The plan shall include, among other things, designs for a development proposed for sites that are adjacent to a floodplain area, located in an area with converging drainage flows, located in an area characterized by documented drainage problems, or located in an area with closed, depressed contour lines as shown on the City's GIS maps and shall be subject to a higher level of drainage plan review. Site plans for these areas shall include documentation that finished floor elevations of structures shall be at least two feet above areas that would be flooded during a one hundred-year storm event otherwise known as a 1% chance storm.

5.) Revise the Site Plan to show the exact surveyed boundary of the floodplain (SFHA).

## **Recommended Conditions of Approval**

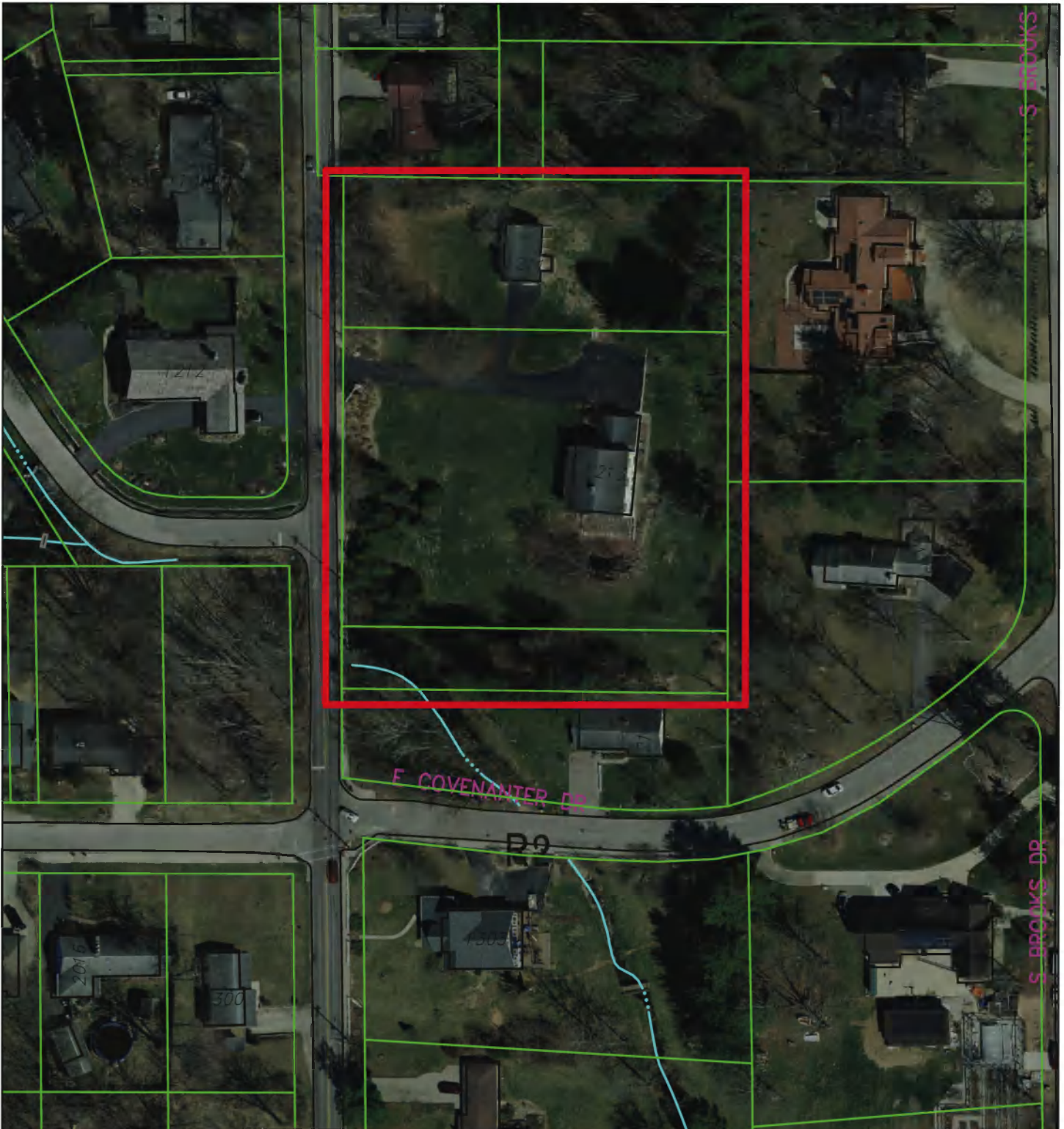
1.) The Plan Commission will contemplate this case at the required two hearings.

2.) Create a recorded easement for the floodplain following the requirements for a Conservancy Easement, and submit a Facilities Plan for its maintenance,

3.) Create the Riparian Buffer Easement.

4.) Submit a Stormwater Drainage Plan and provide documentation that the finished floor elevations of the new structures will be at least two feet above areas that would be flooded during a one-hundred-year storm).

5.) Show the exact, surveyed SFHA Easement and the Riparian Buffer Easement with the BMPs used.

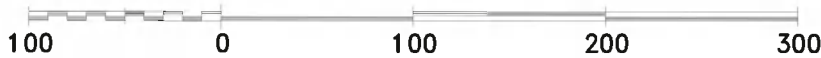


City of Bloomington  
Planning

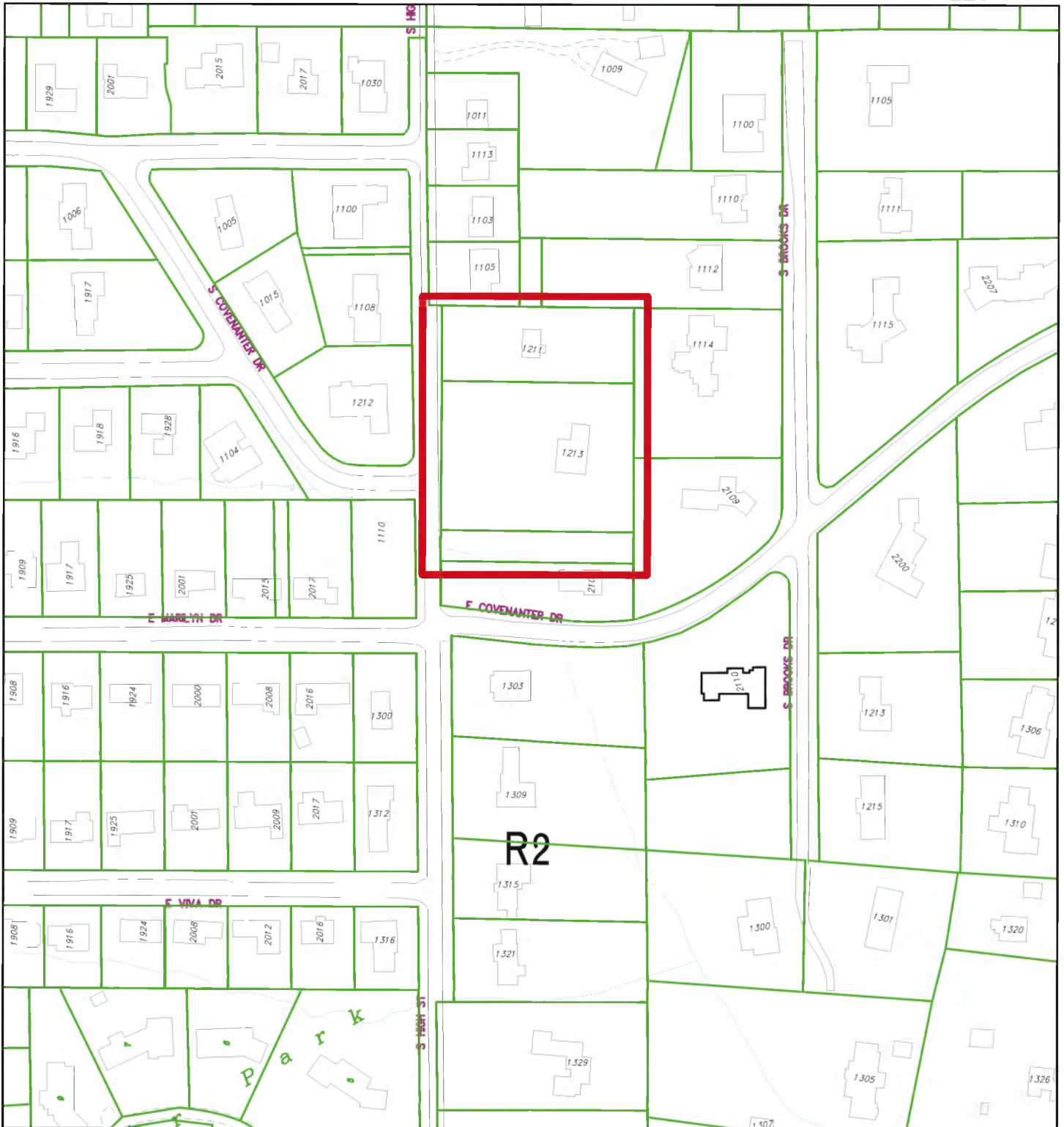


Scale: 1" = 100'

By: scanlanj  
3 Aug 21



For reference only; map information NOT warranted.

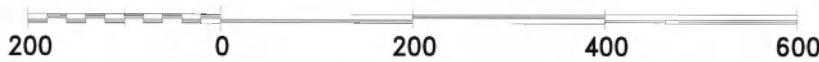


City of Bloomington  
Planning



Scale: 1" = 200'

By: scanlanj  
3 Aug 21



For reference only; map information NOT warranted.

Privet Drive LLC.  
2200 S. Walnut St.  
Bloomington, IN 47401  
8/18/21

Dear City of Bloomington Planning Commission:

We are requesting a primary plat approval with a waiver of 2<sup>nd</sup> hearing for the property located at 1211 & 1213 S. High St.

My wife and I purchased the property with the intent of building our family home on it. I am a born and raised Bloomington resident, and both my wife and I attended IU. I manage several local businesses, and we are both actively involved in several non-profit organizations. We are local people who care about the community we live in.

We do not need the entire property to build our home and are looking to divide the property into four parcels and sell the additional parcels to other people looking to build homes in this area as well. We would like to retain a central private drive to access the property. We request this for multiple reasons:

First, the location of the property is situated along a very busy section of High Street and entering the roadway can be difficult and dangerous. We believe that adding more curb cuts along here would not be in the best interest of traffic safety.

Second, the property is currently bordered by mature trees that offer great beauty and privacy. These would potentially have to be removed to create access to the new parcels, and we would very much like to preserve these trees.

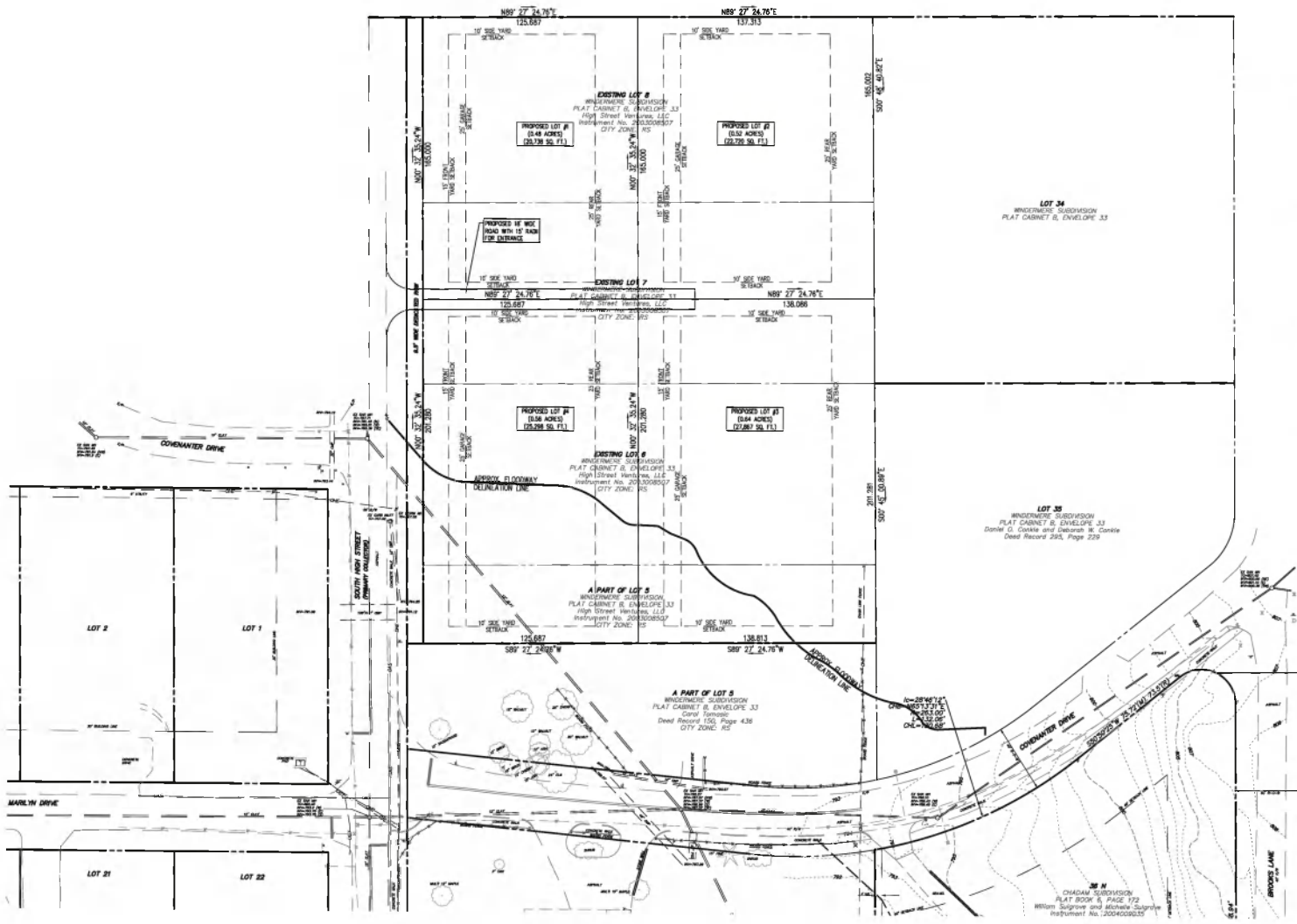
The private drive would also only require city services, like trash, to make one stop at the curb instead of coming into the private drive. This could potentially apply to mail service as well.

In regards to the three vs. four lot discussion we have had with the planning department. We are asking for four lots in part because we believe that follows the city's new UDO increased density desire. All four of the proposed lots would be well over the minimum size required.

Thank you taking the time to consider our project proposal, and we look forward to working together to help make this project become a reality

Sincerely,

Evan Martin



SCALE: 1"=30'

SCHEMATIC SITE PLAN

DJB  
JSF  
C301

223

**BLOOMINGTON PLAN COMMISSION  
STAFF REPORT  
Location: 703 W. Gourley Pike**

**CASE #: SP-26-21  
DATE: September 13 2021**

**PETITIONER:** Aspen TOPCO II Acquisitions, LLC.  
1301 S. Capital of TX Highway, Suite B201 Austin, TX 48746

**CONSULTANTS:** Smith Design Group, Inc.  
2755 E. Canada Dr. Ste. 101 Bloomington

**REQUEST:** Major site plan approval to allow for the construction of a 241 unit student housing development in the Mixed-Use Student Housing (MS) zoning district. The petitioner is also requesting to utilize the Sustainable Development Incentives.

**BACKGROUND:**

**Area:** 12.34 acres  
**Current Zoning:** Mixed-Use Student Housing (MS)  
**Comp Plan Designation:** Neighborhood Residential  
**Existing Land Use:** Dwelling, Multifamily  
**Proposed Land Use:** Student Housing  
**Surrounding Uses:** North – Commercial (East) and Residential (West)  
South – Dwelling, Multifamily & Dwelling, Single Family  
East – Dwelling, Multifamily  
West – Manufactured home park

**REPORT:** The property is located at 703 W. Gourley Pike and is currently zoned Mixed-Use Student Housing (MS). The property is currently developed with a “dwelling, multifamily” use with 206 units and 393 bedroom and is home to “The Arch” apartments. Surrounding properties to the east are zoned Mixed-Use Student Housing (MS), the properties to the south are zoned Residential High-Density Multifamily (RH), the properties to the north are Mixed-Use Commercial (MC), and the properties to the west are zoned Manufactured/Mobile Home Park (RMH) and Residential Multifamily (RM).

This property received major site plan approval and primary plat approval in June under case #SP/DP-14-21 for two student housing buildings and one multi-family dwelling unit building. That approval was filed under the previous zoning on the property of Residential High-Density Multifamily (RH) prior to the updated zoning code and change in zoning on this property to Mixed-Use Student Housing (MS). The petitioner has chosen to file a new petition to develop the property under the current MS zoning district.

The petitioner is requesting major site plan review approval to allow for the construction of three “student housing or dormitory” buildings and one “dwelling, multi-family” building. Buildings #1 and #3 are proposed to be 4-story buildings which each contain 4 one-bedroom units, 1 three-bedroom unit, 23 four-bedroom units, and 15 five bedroom units for a total of 174 beds and 43 units in each building. The inclusion of four and five bedroom units within these buildings classifies them as “student housing or dormitory.” Building #2 is proposed to be a 5-story building and will contain 2 studio units, 31 one-bedroom units, 84 two-bedroom units, and 34 three-bedroom units for a total of 303 beds and 151 units. Since there are no 4 or 5-bedroom units within this building and less than 30% of the units within this building are 3-bedroom units, this building



is classified as “dwelling, multi-family”. Building #4 is proposed to be a 2-story building and is proposed to contain 4 six-bedroom units, however these are not allowed and must be reduced to five-bedroom units only. Since all of the units within this building will be 5-bedroom units, this building is also classified as “student housing or dormitory”. In total (with the modification to the 6-bedroom units in Building #4) there will be 241 units and 671 bedrooms. Surface parking will be provided throughout the site by the construction of 495 on-site parking spaces. The petitioner is also proposing to add 11 parking spaces along the north property frontage along Gourley Pike.

The petitioner has committed to designing and certifying the project to the Silver level certification from the National Green Building standard, this would allow them to not be restricted to the maximum 20,000 square foot floor plate per building of the MS zoning district.

---

**DEVELOPMENT STANDARDS & INCENTIVES 20.04:** The following UDO standards are required to be reviewed for all activities that require New Development approval.

**MS Dimensional Standards:**

**Building setbacks:** The minimum front, side, and rear building setbacks are each 15 feet.

**Front parking setback (minimum):** The minimum front parking setback is 20 feet behind the primary structure’s front building wall. All proposed parking areas meet the front parking setback.

**Side parking setback (minimum):** The side yard parking setback is 8’. There is a portion of the parking area along the outside curve along the north property line where the 8’ setback has not been achieved, this must be fixed prior to issuance of a grading permit. A condition of approval has been added.

**Minimum Landscape Area (minimum):** The minimum landscape area required is 30% and they are proposing 41%, which meets this minimum standard.

**Primary structure height:** The maximum height is five (5) stories not to exceed 63 feet. Building #2 is the tallest structure and at its maximum height will be 5 stories tall and 62’6” along the west elevation.

**Environment:** The property does not have many naturally occurring environmentally sensitive areas.

**Steep Slopes:** Some steep slopes were identified and none will be disturbed.

**Siltation and erosion prevention:** An erosion control plan has been submitted as part of the proposal. Additionally, a Grading Permit will be required before development can begin on the property. There are no expected siltation or erosion control issues expected with this proposal.

**Drainage:** A grading and drainage plan has been submitted. A copy has also been submitted to City of Bloomington Utilities. There are no expected drainage issues expected with this proposal.

**Riparian Buffer:** There is a stream on the south end of the site that will require a 75 foot riparian buffer, which has been shown on the plat. A condition has been added that will require that the current design of the parking lot be accomplished without disturbance in the buffer.

**Tree and forest preservation:** There is closed canopy cover on the southern portion of Lot 3, and it is not expected to be disturbed and cannot be disturbed.

**Karst Geology:** There are no known karst features on the site.

**Wetlands:** No wetlands were identified on the site.

**Floodplain:** The property is not within a special flood hazard area, or known flood prone

area.

**Lake Watershed:** There are no watershed issues on the site.

### **Access and Connectivity:**

**Driveways and access:** The proposed site will derive vehicular access from one driveway on Kinser Pike and one driveway on Gourley Pike. All internal drives will be private. The proposed driveway locations meet the 100 foot minimum separation from corners, and meet the requirements related to drives within the front parking setback running less than 45 degrees from parallel to the street right-of-way or ingress/egress easement. All entrances will be two-way and therefore meet the driveway width maximums. The site is designed to facilitate the Bloomington Transit #6 bus route that utilizes the existing site as a turn around. A bus shelter and bus stops are provided in the plan, as well as a bus layover area.

**Pedestrian and bicycle circulation:** The proposal includes a 10 feet multi-use path along Gourley Pike and the west/north side of the internal drive, this will extend through the site and join with the new 10' multi-use path along Kinser Pike. All buildings will be accessible via sidewalks from the buildings to the adjacent parking areas and driveways to the public roads. There is an access easement and accompanying sidewalk that runs east/west between buildings 1 and 2 for pedestrian access to the property to the west.

**Parking and Loading:** The parking minimum for the Student Housing use is 184 and the parking maximum is 283. The parking maximum for the Multi-family units is 226. Therefore for the project as a whole, the parking minimum is 184 and the parking maximum is 509. The petitioner is proposing 495 spaces which is within the allowed range. The site meets parking total requirements.

**Site and Building Design:** The overall building design has not changed from the previous petition. Schmidt and Associates reviewed the previous building design and provided comments that are included.

**Material:** Buildings 1 and 3 will utilize fiber cement horizontal siding, brick veneer, and an aluminum storefront system. Building 2 will utilize fiber cement vertical panels, fiber cement board, and fiber cement wood.

**Minimum Coverage:** The primary materials used at the site will need to extend from the roofline to within 6 inches of finished grade.

**Roof:** All buildings will utilize flat roofs with parapets.

**360-Degree Architecture:** Those facades that face a public street need to match that of the front façade. That matching should occur using similar materials, window/doorway openings, variation in rooflines, or fenestration. Most of the facades seem to meet this requirement, but a condition has been added to ensure that all doorway openings are matching in material and design. In addition, the west sides of the buildings do not incorporate some of the stonework shown along the fronts, the petitioner will continue to work with staff to include these elements and this will be reviewed with the building permit.

**Anti-monotony Standards:** Since there are more than 3 buildings shown with this petition, the buildings are subject to the anti-monotony standards which require variations of rooflines, building footprint, and number of floors between buildings. The proposed buildings feature a change in building height and floors between them and differences in building footprint. The petitioner has also varied finishing materials and colors between the buildings.

**Refuse and Recycling Containers:** Will be provided.

**Utility Box Location:** An electrical transformer box appears to be located in front of the Building #1 between the building and Gourley Pike and must be relocated to not be visible

from the street to be in compliance with Section 20.04.080(m)(2).

**Neighborhood Transition Standards:** Do not apply.

**Universal Design:** Because this project has more than 20 dwelling units, at least 20 percent of the dwelling units shall incorporate at least one entrance at grade level, not requiring any steps up or down or a ramp for entry. A condition of approval has been included for clarity.

**Landscape, Buffering, and Fences:** The UDO requires that all portions of a site not covered by structure, parking lot, access way, required buffer yard, or other pervious surface be landscaped. The UDO requires that parking lots with 12 or more parking spaces provide one landscape bumpout, island, or endcap per every 10 parking spaces. Landscape bumpouts, island, and endcaps are required to contain at least one large canopy tree. The proposed site plan appears to meet landscape requirements, including street trees, buffer yards, and interior landscaping. The details of the landscape plan will be verified at the grading permit stage.

**Outdoor Lighting:** A lighting and photometric plan will have to be submitted which shows that the site meets UDO requirements for maximum light trespass and fixture types during the grading permit review process. No deviations from the lighting code are expected.

**Sustainable Development Incentives:** The petitioner has committed to achieving and certifying this building to the Silver level from the National Green Building Council. Submission of this certification must be achieved prior to recommendation of issuance of final occupancy. The incorporation of this development incentive allows the petitioner to utilize building footprints greater than 20,000 square feet. The UDO lists this specific certification as one of the allowed options under the Sustainable Development Incentives and the Department finds that this meets the UDO standards and should be approved.

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**SITE PLAN REVIEW:** The Plan Commission shall review the major site plan petition and approve, approve with conditions, or deny the petition in accordance with Section 20.06.040(g) (Review and Decision ), based on the general approval criteria in Section 20.06.040(d)(6)(B) (General Compliance Criteria).

#### **20.06.040(d)(6)(B) General Compliance Criteria**

- i. Compliance with this UDO
- ii. Compliance with Other Applicable Regulations
- iii. Compliance with Utility, Service, and Improvement Standards
- iv. Compliance with Prior Approvals
- v. Consistency with Comprehensive Plans and Other Applicable Plans
- vi. Consistent with Intergovernmental Agreements
- vii. Minimization or Mitigation of Adverse Impacts
- viii. Adequacy of Road Systems
- ix. Provides Adequate Public Services and Facilities
- x. Rational Phasing Plan

**PROPOSED FINDING:** The petition meets all UDO requirements related to use and development standards for ‘student housing or dormitory’ and ‘dwelling, multifamily’ in the MS zoning district. The petitioner has worked with City of Bloomington Utilities to insure that all requirements are met for stormwater and detention. The petition is consistent with the

Comprehensive Plan which envisions student housing in and adjacent to the North Gateway. The petition provides a through connection through the site by connecting to both adjacent public streets. No phasing is planned.

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**CONCLUSION:** This petition meets the MS development standards by utilizing the Sustainable Development Incentives. The project will redevelop an existing multifamily site that has drainage and age issues with new buildings designed to a Silver Level certification from the National Green Building Council. The site has been designed to all of the required standards of the UDO.

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**RECOMMENDATION:** The Planning and Transportation Department recommends that the Plan Commission approve the use of the Sustainable Development Incentives and adopt the proposed findings and approve SP-26-21 with the following conditions:

1. A plan indicating how the parking lot will be constructed without disturbing the riparian buffer will be submitted and approved before a grading permit will be issued.
2. All facades including all doorway openings, including those not facing a public street must still meet the Building Design requirements of 20.04.070(d)(2). Additional stone elements shown along the fronts of the buildings must be included along all sides.
3. At least 20 percent of the dwelling units shall incorporate at least one entrance at grade level, not requiring any steps up or down or a ramp for entry. This will be confirmed prior to recommendation of issuance of final occupancy.
4. A landscape plan that meets all UDO requirements, including delineation of the tree and forest preservation area, must be submitted and approved prior to issuance of a grading permit.
5. A photometric plan that meets all UDO requirements must be submitted and approved prior to issuance of a grading permit.
6. The proposed 6-bedroom units in Building #4 must be modified to show no more than 5 bedrooms in each unit.
7. This approval does not approve any changes shown to the Gourley Pike. Separate approval from the Board of Public Works and Engineering Department, and potentially the Common Council, are required prior to the creation of any new on-street spaces.
8. The transformer box shown in front of Building #1 must be modified to meet screening requirements.
9. Certification of at least a Silver level certification from the National Green Building Certification Program must be submitted prior to recommendation of issuance of final occupancy.
10. All proposed parking areas must be at least 8' from property lines, the parking area along the outside curve must be adjusted to meet this setback requirement.
11. The petitioner will work with Bloomington Transit on a final design and location of the on-site transit facilities to be determined before a grading permit is issued.
12. The petitioner will record an access easement for Bloomington Transit before final occupancy is issued.



City of Bloomington  
Bloomington Environmental Commission

## MEMORANDUM

Date: September 13, 2021

To: Bloomington Plan Commission

From: Bloomington Environmental Commission

Subject: SP-26-21: Aspen Heights, Bloomington; Aspen Topco II Acquisitions, LLC  
703 W. Gourley Pike

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The purpose of this memo is to convey the environmental concerns and subsequent recommendations for conditions of approval for this development petition. The Environmental Commission's (EC) objective is that the results of our review and suggestions will lead to enhancement of the ecosystem services provided, and the climate-change mitigation attributes of the site. This is a large site that will influence over 12 acres of Bloomington's potential ecosystem services and carbon footprint.

### Comments

#### 1.) RIPARIAN BUFFER

The Petitioner is responsible for creating a 25-foot Riparian Buffer Easement per 20.04.030 (f) Riparian Buffer and 20.05.040, and provide two of the best management practices listed in the UDO.

The plan view of the Site Plan shows the edge of the riparian buffer and the edge of one of the parking lots, which will be removed and replaced, almost converging. Please show and describe how the parking lot work can be accomplished without encroaching into the riparian buffer. There should be a fence at the edge of the riparian buffer to protect it from construction activity.

#### 2.) LANDSCAPE PLAN

The Landscape Plan needs to be finalized with the grading permit. Please state on the plan the acres of landscape/greenspace at the site, and change the invasive species to permitted species.

#### 3.) REUSE CONSTRUCTION AND DEMOLITION MATERIALS

The existing structure and parking lot will be demolished for this project. The EC recommends that the Petitioner reuse or recycle all of the construction and demolition materials possible that result from demolition, especially the steel, aluminum, and wiring. Unfortunately there is no longer a Construction and Demolition (C&D) landfill in Monroe County, so all the asphalt will likely be landfilled unless a location can be found for "clean fill."

#### 4.) EROSION AND POLLUTANT CONTROL REQUIREMENTS

The design should employ current preferred practices (CPP) of Low Impact Development (LID) to establish new environmental benefits on this site. The UDO provides examples of CPPs that include filter socks, articulated concrete blocks, mechanically stabilized earth, and more. Therefore, the EC recommends that the plan be crafted to include state-of-the-art LID CPPs.

Low Impact Development is an integrated, holistic strategy for stormwater management, and thus is especially important at this site. The premise of LID is to manage rainfall at the source using decentralized small-scaled controls that will infiltrate, filter, store, evaporate, and detain runoff close to its source. Another purpose of the LID stormwater CPPs is to install native plant species, which will promote biodiversity and phytofiltration in the area, and thus will improve habitat for pollinators and other beneficial life.

Examples of some types of LID and green infrastructure practices:

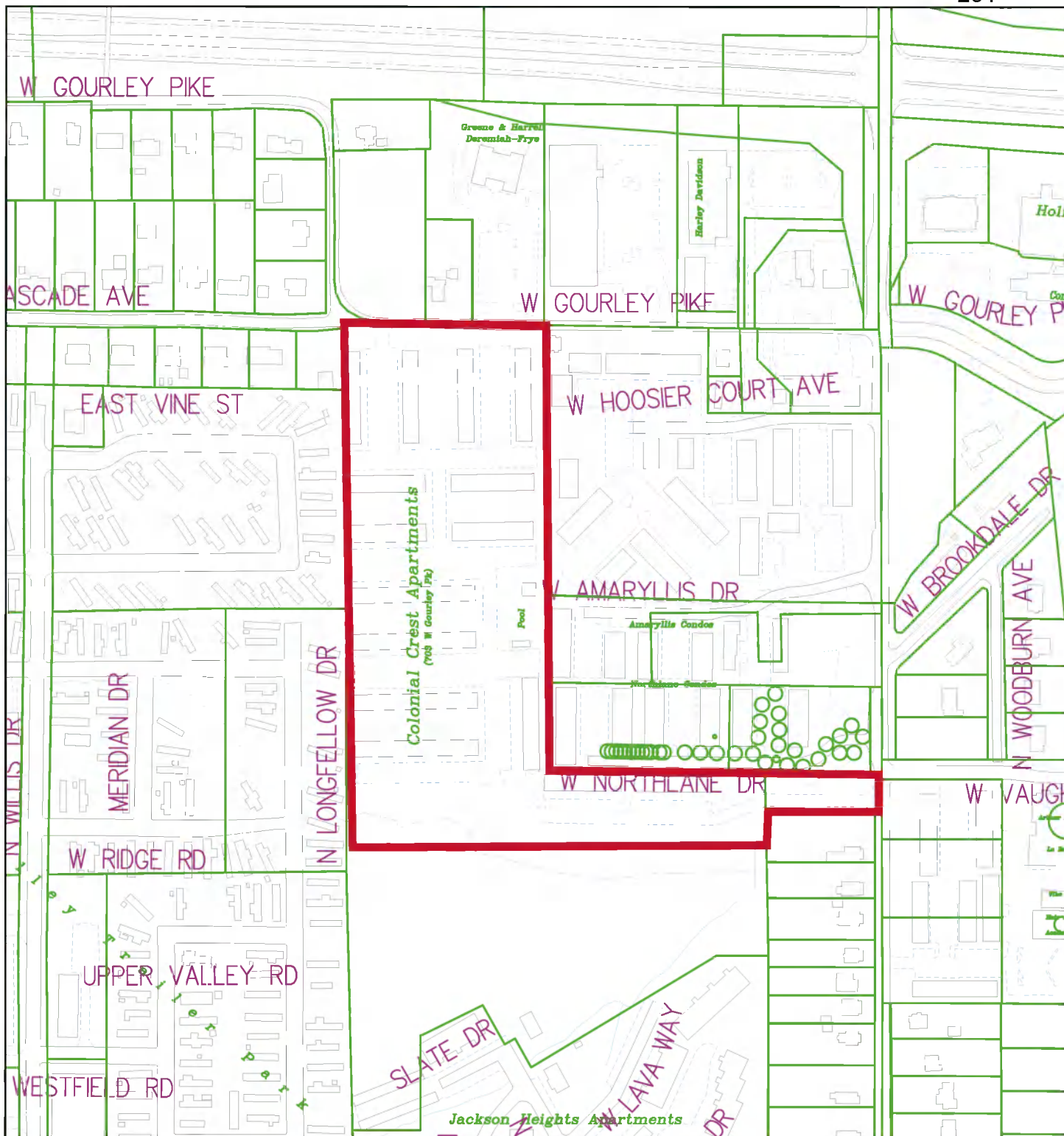
1. Floodwater storage that can manage runoff timing
2. Multiple small biofiltration basins and trenches
3. Vegetated roofs
4. Increased greenspace
5. Well-planned native landscaping
6. Removal of curbs and gutters to allow sheet flow

#### 5.) TREE and FOREST PRESERVATION

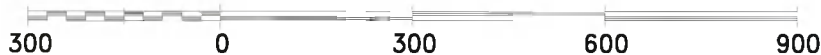
Please show the area calculations for the Tree Preservation Easement and show the overlay with the Riparian Buffer Easement.

### **Recommended Conditions of Approval**

- 1.) Create a Riparian Buffer Easement and show the two best management practices you intend to use as required in 20.04.030 and 20.05.040.
- 2.) Revise the Landscape Plan prior to the Grading Permit issuance.
- 3.) Reuse or recycle all construction and demolition debris possibl.
- 4.) Employ Low Impact Development in constructing green infrastructure on the site.
- 5.) Show the area for Tree Preservation Easement.



By: greulice  
9 Sep 21

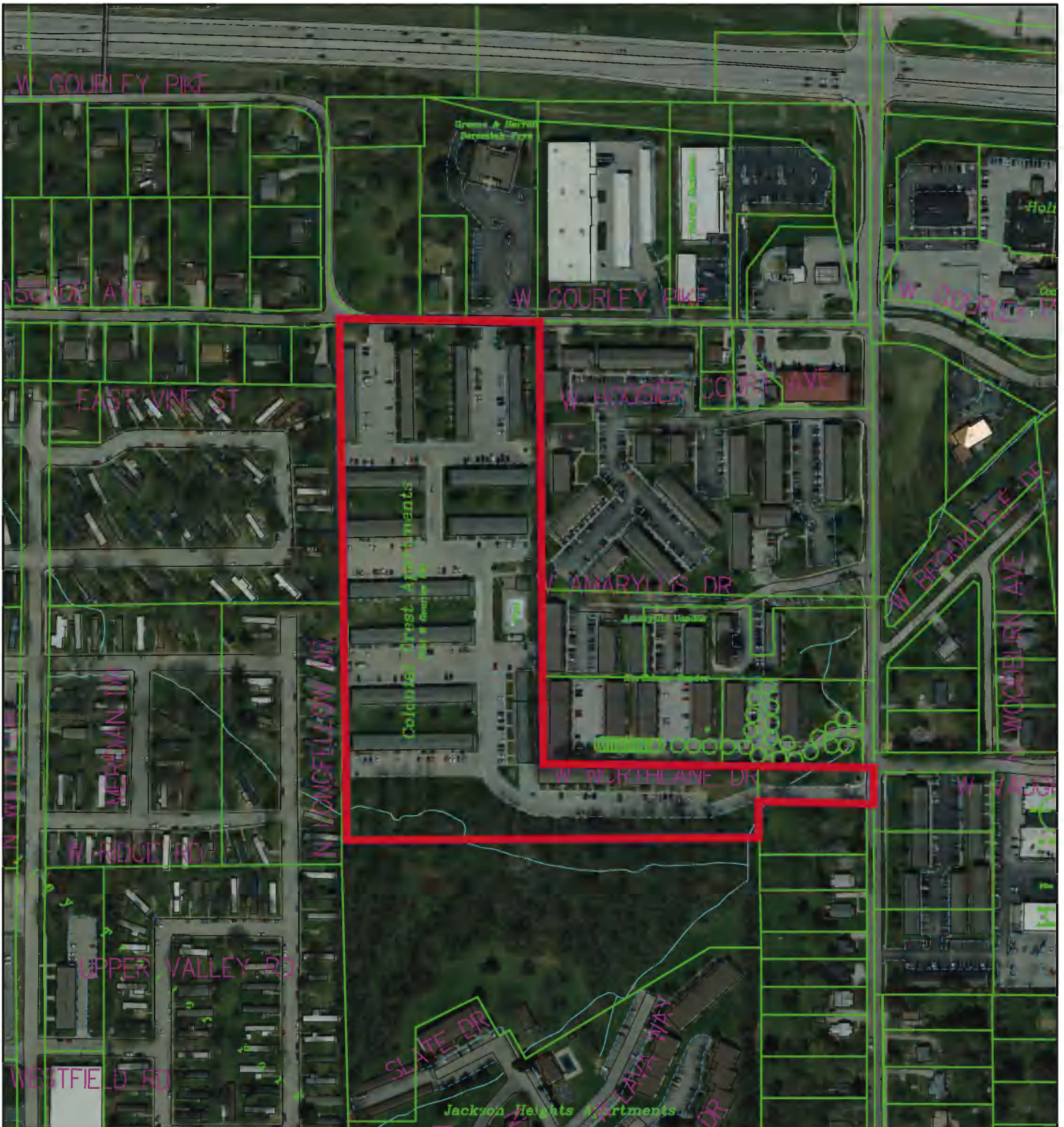


For reference only; map information NOT warranted.

City of Bloomington  
Planning



Scale: 1" = 300'



City of Bloomington  
Planning



Scale: 1" = 300'

By: greulice  
9 Sep 21



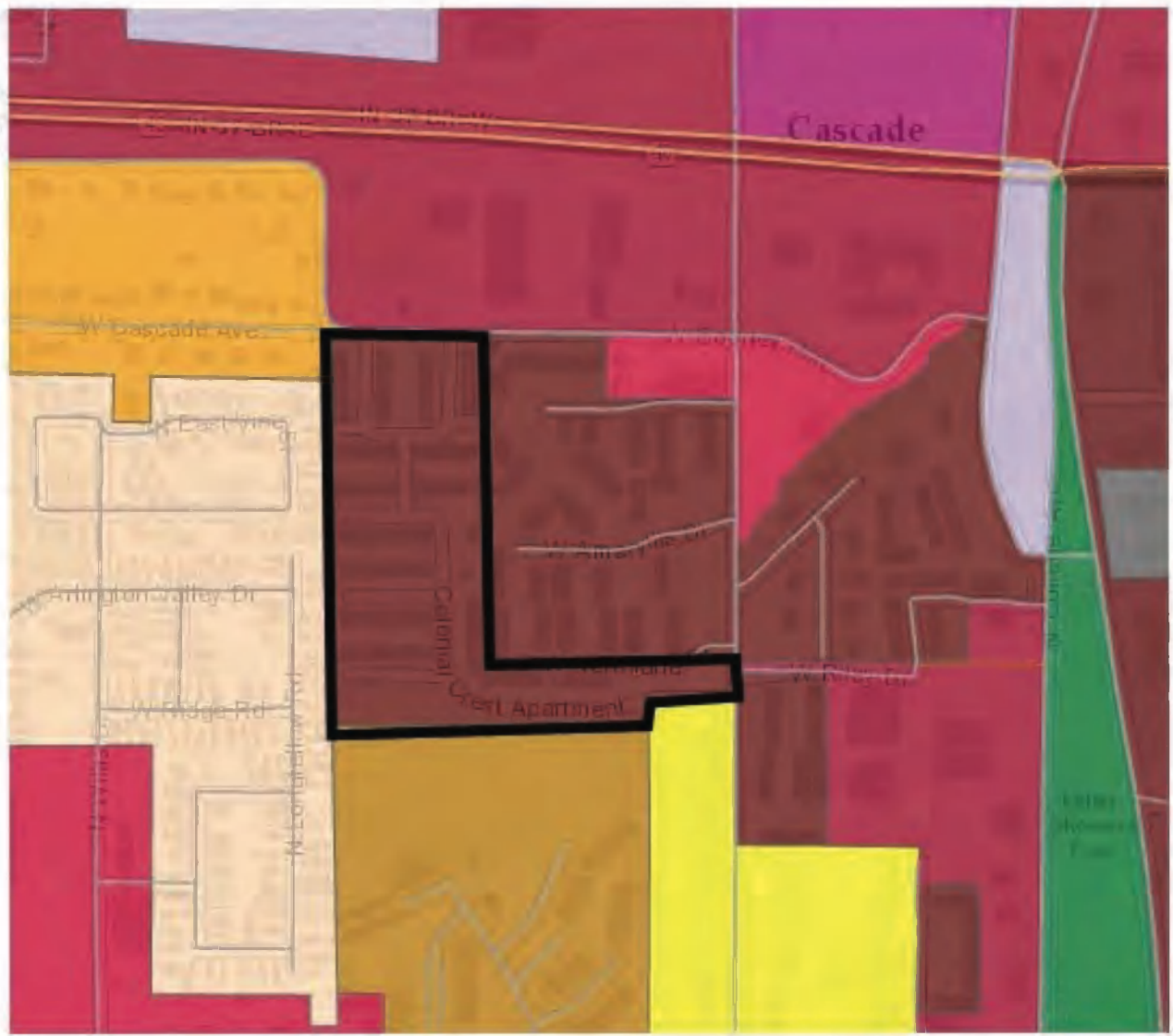
For reference only; map information NOT warranted.



### Zoning Districts

Zoning District Code and Description

- R1 : Residential Estate
- R2 : Residential Medium Lot
- R3 : Residential Small Lot
- R4 : Residential Urban
- RH : Residential High-Density Multifamily
- RM : Residential Multifamily
- RMH : Manufactured/Mobile Home Park
- MC : Mixed-Use Commercial
- ME : Mixed-Use Employment
- MH : Mixed-Use Healthcare
- MI : Mixed-Use Institutional
- MM : Mixed-Use Medium-Scale
- MN : Mixed-Use Neighborhood-Scale
- MS : Mixed-Use Student Housing
- PO : Parks and Open Space
- PUD : Planned Unit Development
- MD-CS : Mixed-Use Downtown Courthouse Square





Todd M. Borgman, P.L.S.  
Katherine E. Stein, P.E.  
Don J. Kocarek, R.L.A.  
Stephen L. Smith, Founder

August 9, 2021

City of Bloomington Plan Commission  
City of Bloomington Planning & Transportation Department  
c/o Mr. Eric Greulich  
Showers Building Suite 130  
401 N Morton St  
Bloomington, Indiana 47404

Dear Members of the Plan Commission,

For your consideration, Aspen TOPCO II Acquisitions, LLC, is submitting to you this petition for Major Site Plan Approval for a property located at 703 W Gourley Pk currently known as "The Arch Apartments" and formerly known as "Colonial Crest Apartments". The site is zoned Mixed-Use Student Housing (MS) and was previously zoned Residential High Density (RH) prior to the 2021 city-wide rezone by city council. The existing site consists of a 206 unit / 393 bed multifamily residential development split up between 15 buildings, surface parking areas, and a pool. The buildings appear to have been constructed in 1967/68. There are existing issues with the existing buildings that have caused many of the units to not be occupied at this time.

The proposal consists of the demolition of the existing 206 unit / 393 bed multifamily residential development and the construction of a new 241 unit / 675 bed multifamily housing development consisting of four buildings and surface parking lots.

### **Location**

The project is located on a 12.43-acre parcel that is currently known as "The Arch Apartments" and formerly known as "Colonial Crest Apartments". To the south is the Jackson Heights Apartments multifamily residential housing complex also zoned Residential High Density (RH). To the west is the Arlington Valley Mobile Home Community zoned Manufactured/Mobile Home Park (RMH). To the northwest are detached single family residential dwellings along W Cascade Ave all zoned Residential Multifamily (RM). To the north of the site are a variety of uses including single family detached dwelling, funeral home/crematorium, and storage all zoned Mixed-use Corridor. To the east are the Hoosier Court Apartments and the Northlane Condominiums



Todd M. Borgman, P.L.S.  
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Stephen L. Smith, Founder

multifamily residential dwelling units both also recently rezoned to the Mixed-Use Student Housing (MS) district.

### **Utilities**

Preliminary coordination with the City of Bloomington Utilities (CBU) has identified offsite improvements that will be necessary for the city to adequately serve the new project. The petitioner has committed to making these improvements as part of this project. From CBU: "...There is approximately 575 feet of 10" VCP downstream from the development's connection that is undersized for the additional flows. This sewer will need to be replaced with, most likely, 12" PVC to provide enough capacity for the additional bedrooms."

### **Vehicle Parking**

Surface parking lots will be provided on the project site to serve the proposed multifamily residential dwelling units. A total of 495 on-site, private parking spaces (0.73 spaces per bedroom) and 11 on-street public parking spaces on W Gourley Pk are proposed. This The UDO calls for a minimum of 0.50 spaces per bedroom. Electric vehicle charging stations will be required 1 space for every 25 on-site parking spaces per the UDO requirement.

### **Public Transportation**

The project site currently provides the turnaround/layover location for Bloomington Transit's #6 bus route. The #6 route provides frequent service with buses running every 20 minutes. Coordination with Bloomington Transit has included the incorporation of the following into the design:

- 1) Stops located per Bloomington Transit guidance
- 2) Bus shelters provided per Bloomington Transit guidance
- 3) Bus Pull-Off Area provided for bus layover.
- 4) Bloomington Transit Drivers will have full access to building 2 restrooms during Bloomington Transit operating hours.



Todd M. Borgman, P.L.S.

Katherine E. Stein, P.E.

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Stephen L. Smith, Founder

### **Pedestrian Improvements and Connectivity**

The site's frontage along N Kinser Pk and W Gourley Pk will be improved to provide a ten-foot-wide walk per the Transportation Plan guidance. A ten-foot-wide interior walk will connect all site buildings to the two public rights-of-way. Pedestrian walkways stubbed at the property line with the adjoining mobile home community to the west will be provided.

### **Environmental Constraints**

There are no known karst features, wetland areas, or floodways or mature tree stands on site. There is a surface watercourse (considered waters of the US), steep slopes, and mature tree stands along the south part of the site. A riparian buffer along the surface watercourse will be established as required by the UDO. These areas are not proposed to be disturbed as part of this project. Stormwater quality measures as required by the City of Bloomington Utilities Department will be installed and maintained as part of this project. Proper erosion and sediment control measures will be implemented during construction as required by the UDO, state, and federal regulations.

### **Tentative Development Schedule**

April 2022 - Begin Construction

August 2024 – Construction Complete



Todd M. Borgman, P.L.S.  
Katherine E. Stein, P.E.  
Don J. Kocarek, R.L.A.  
Stephen L. Smith, Founder

To the best of the petitioner's knowledge all requirements in the UDO are being met in this submission. Thank you for your consideration of this petition.

Regards,

A handwritten signature in blue ink, appearing to read 'Kendall Knoke', is written over a light blue rectangular background.

Kendall Knoke  
Smith Design Group, Inc.  
812-336-6536 Ext. 3  
kknoke@smithdginc.com



**To:** Eric Greulich  
Senior Zoning Planner  
City of Bloomington, Planning and Transportation Department

**From:** Applicant – Aspen Topco II Acquisitions, LLC (dba Aspen Heights)

**Date:** 8/30/21

**Re:** Aspen Bloomington – National Green Building Standard Commitment

**Attached:** **Aspen Bloomington NGBS New Construction Scoring Tool**

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Mr. Greulich,

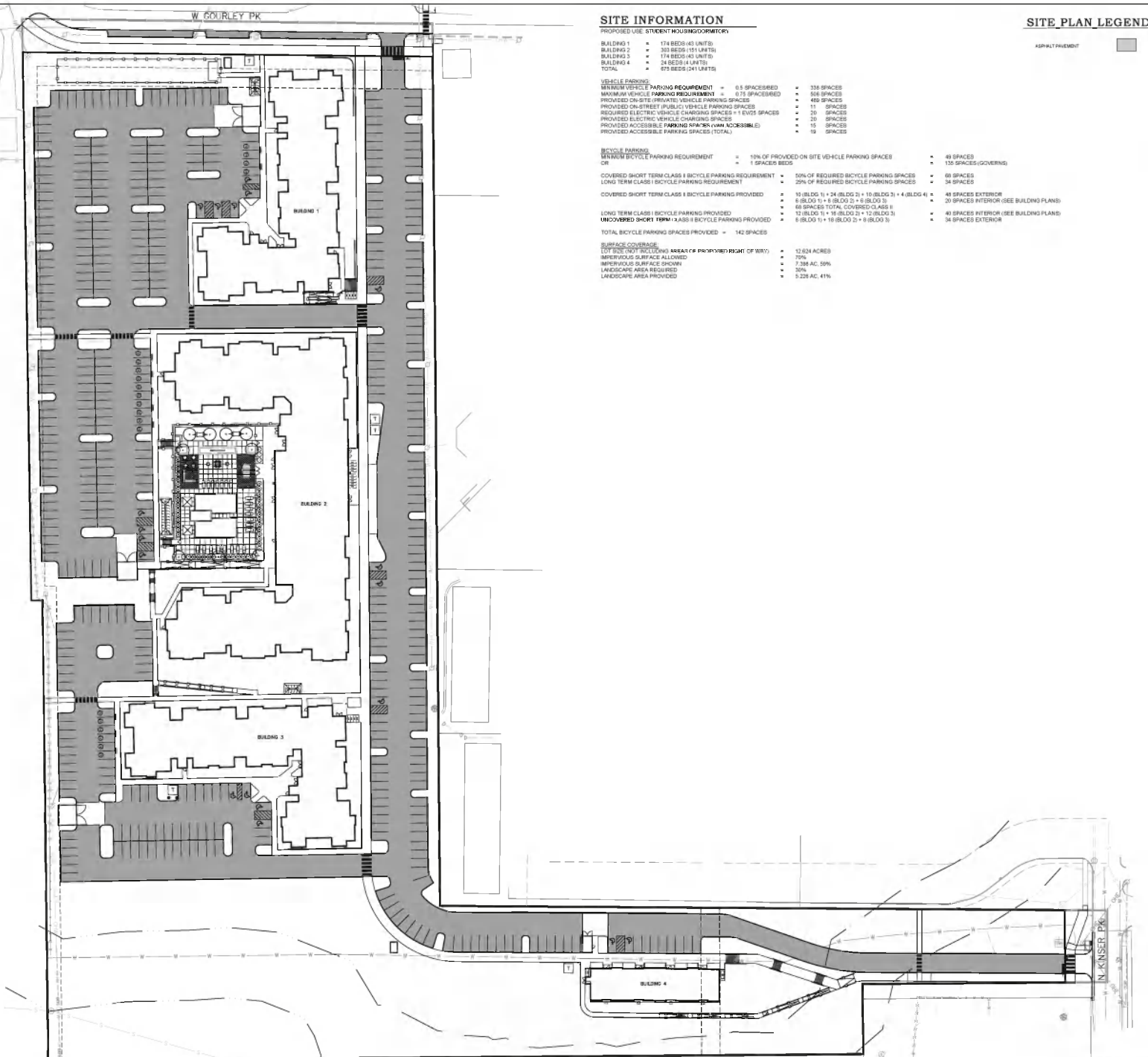
The purpose of this letter is to express the Applicant’s commitment to achieve a National Green Building Standard (NGBS) certification of Silver via the National Green Building Certification Program (NGBCP) for the Applicant’s proposed multi-family project consisting of 241 units and located at 703 W. Gourley Pike currently known as “The Arch Apartments” and formerly known as “Colonial Crest Apartments” (the “Project”).

The applicant has engaged a qualified 3<sup>rd</sup> party consultant to facilitate and verify the requirements of the NGBCP as well as certification of the same. This process will consist of a review of the construction documents to ensure the Project qualifies for NGBS Silver certification as well as site inspections of each dwelling unit at various stages of completion to assess and verify all requirements including but not limited to thermal bypass, air sealing, insulation, and finishes are met. After completion of the Project a final documentation packet will be provided to NGBCP by the 3<sup>rd</sup> party consultant for certification of the Project.

In conclusion, we’d like to thank the City of Bloomington for helping us continue the focus of sustainable building and operations. We believe it’s a meaningful investment for Aspen, the City of Bloomington, and the occupant’s well-being.

Thank you,

David Helfrich  
dhelfrich@ahpliving.com  
Authorized Signatory  
(704) 635-0225



**SITE INFORMATION**

PROPOSED USE: STUDENT HOUSING/DORMITORY

- BUILDING 1 = 174 BEDS (43 UNITS)
- BUILDING 2 = 303 BEDS (151 UNITS)
- BUILDING 3 = 174 BEDS (43 UNITS)
- BUILDING 4 = 24 BEDS (11 UNITS)
- TOTAL = 675 BEDS (241 UNITS)

- VEHICLE PARKING**
- MINIMUM VEHICLE PARKING REQUIREMENT = 0.5 SPACES/BEED = 338 SPACES
  - MAXIMUM VEHICLE PARKING REQUIREMENT = 0.75 SPACES/BEED = 506 SPACES
  - PROVIDED ON-SITE (PRIVATE) VEHICLE PARKING SPACES = 499 SPACES
  - PROVIDED ON-STREET (PUBLIC) VEHICLE PARKING SPACES = 111 SPACES
  - REQUIRED ELECTRIC VEHICLE CHARGING SPACES = 1 EV/5 SPACES = 20 SPACES
  - PROVIDED ELECTRIC VEHICLE CHARGING SPACES = 20 SPACES
  - PROVIDED ACCESSIBLE PARKING SPACES (VAN ACCESSIBLE) = 10 SPACES
  - PROVIDED ACCESSIBLE PARKING SPACES (TOTAL) = 19 SPACES

- BICYCLE PARKING**
- MINIMUM BICYCLE PARKING REQUIREMENT = 1% OF PROVIDED ON-SITE VEHICLE PARKING SPACES = 49 SPACES
  - OR = 1 SPACES/BEED = 132 SPACES (COVERING)
  - COVERED SHORT TERM CLASS I BICYCLE PARKING REQUIREMENT = 50% OF REQUIRED BICYCLE PARKING SPACES = 69 SPACES
  - LONG TERM CLASS I BICYCLE PARKING REQUIREMENT = 25% OF REQUIRED BICYCLE PARKING SPACES = 34 SPACES
  - COVERED SHORT TERM CLASS I BICYCLE PARKING PROVIDED = 69 SPACES EXTERIOR

- 10 (BLDG 1) + 24 (BLDG 2) + 10 (BLDG 3) + 4 (BLDG 4) = 48 SPACES EXTERIOR
- 8 (BLDG 1) + 8 (BLDG 2) + 8 (BLDG 3) = 24 SPACES INTERIOR (SEE BUILDING PLAN)
- 69 SPACES TOTAL COVERED CLASS I
- 12 (BLDG 1) + 18 (BLDG 2) + 12 (BLDG 3) = 42 SPACES EXTERIOR (SEE BUILDING PLAN)
- 8 (BLDG 1) + 18 (BLDG 2) + 8 (BLDG 3) = 34 SPACES EXTERIOR

- LONG TERM CLASS I BICYCLE PARKING PROVIDED
- UNCOVERED SHORT TERM CLASS II BICYCLE PARKING PROVIDED
- TOTAL BICYCLE PARKING SPACES PROVIDED = 142 SPACES
- SURFACE COVERAGE**
- LOT SIZE (NOT INCLUDING AREAS OF PRIVATE RIGHT OF WAY) = 12.624 ACRES
  - IMPERVIOUS SURFACE ALLOWED = 70%
  - IMPERVIOUS SURFACE SHOWN = 7.386 AC. 59%
  - LANDSCAPE AREA REQUIRED = 30%
  - LANDSCAPE AREA PROVIDED = 5.228 AC. 41%

**SITE PLAN LEGEND**

ASPHALT PAVED/IMP



NOT FOR CONSTRUCTION

XX/XX/20XX

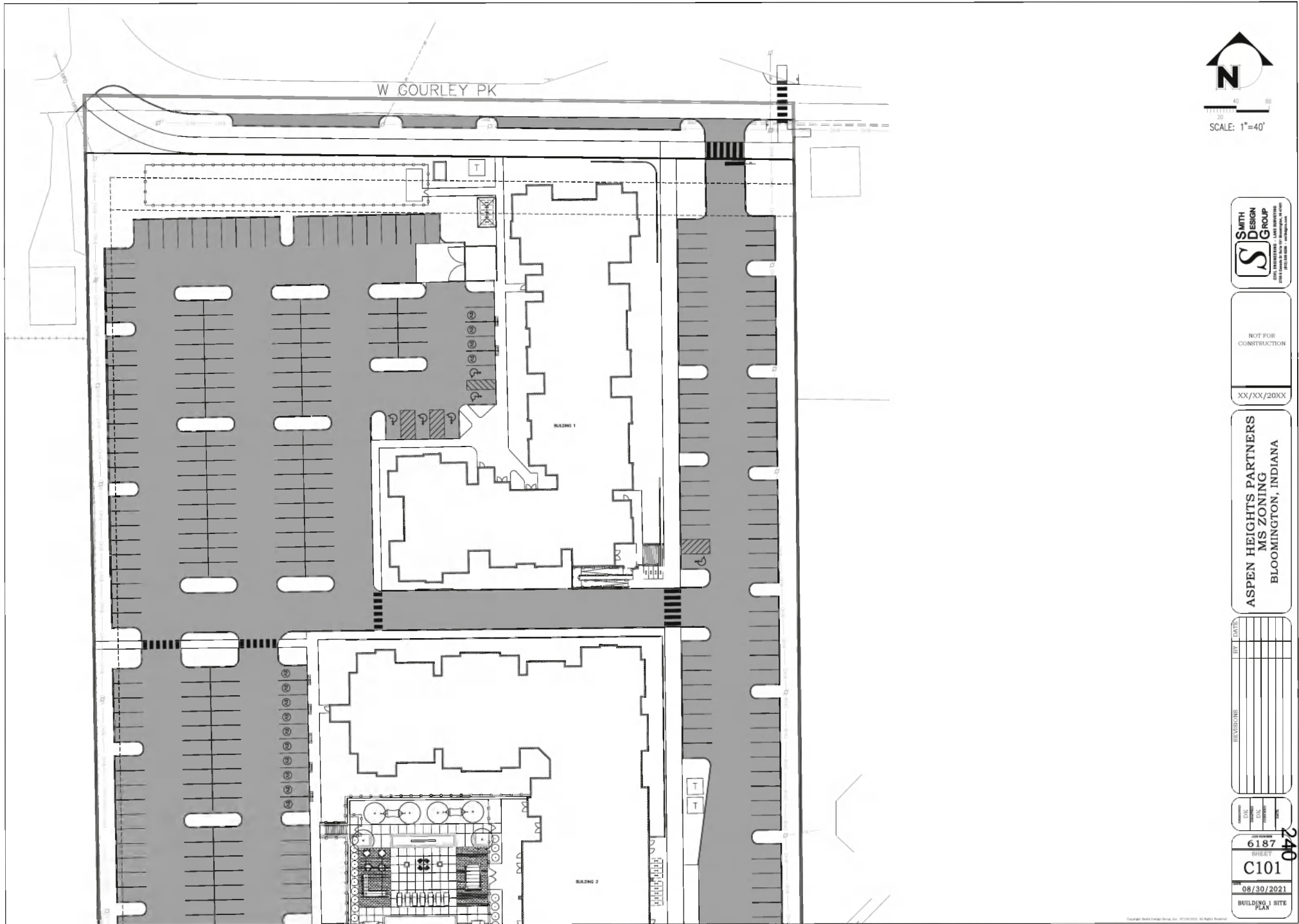
ASPEN HEIGHTS PARTNERS  
MS ZONING  
BLOOMINGTON, INDIANA

REV	DATE	DESCRIPTION

DESIGNER	DATE
DRAWN	DATE
CHECKED	DATE
DATE	
JOB NUMBER <b>6187</b>	
SHEET <b>C100</b>	
DATE 08/30/2021	
SITE PLAN	

239

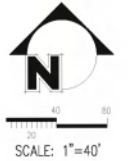
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W GOURLEY PK

BUILDING 1

BUILDING 2



NOT FOR  
CONSTRUCTION

XX/XX/20XX

ASPEN HEIGHTS PARTNERS  
MS ZONING  
BLOOMINGTON, INDIANA

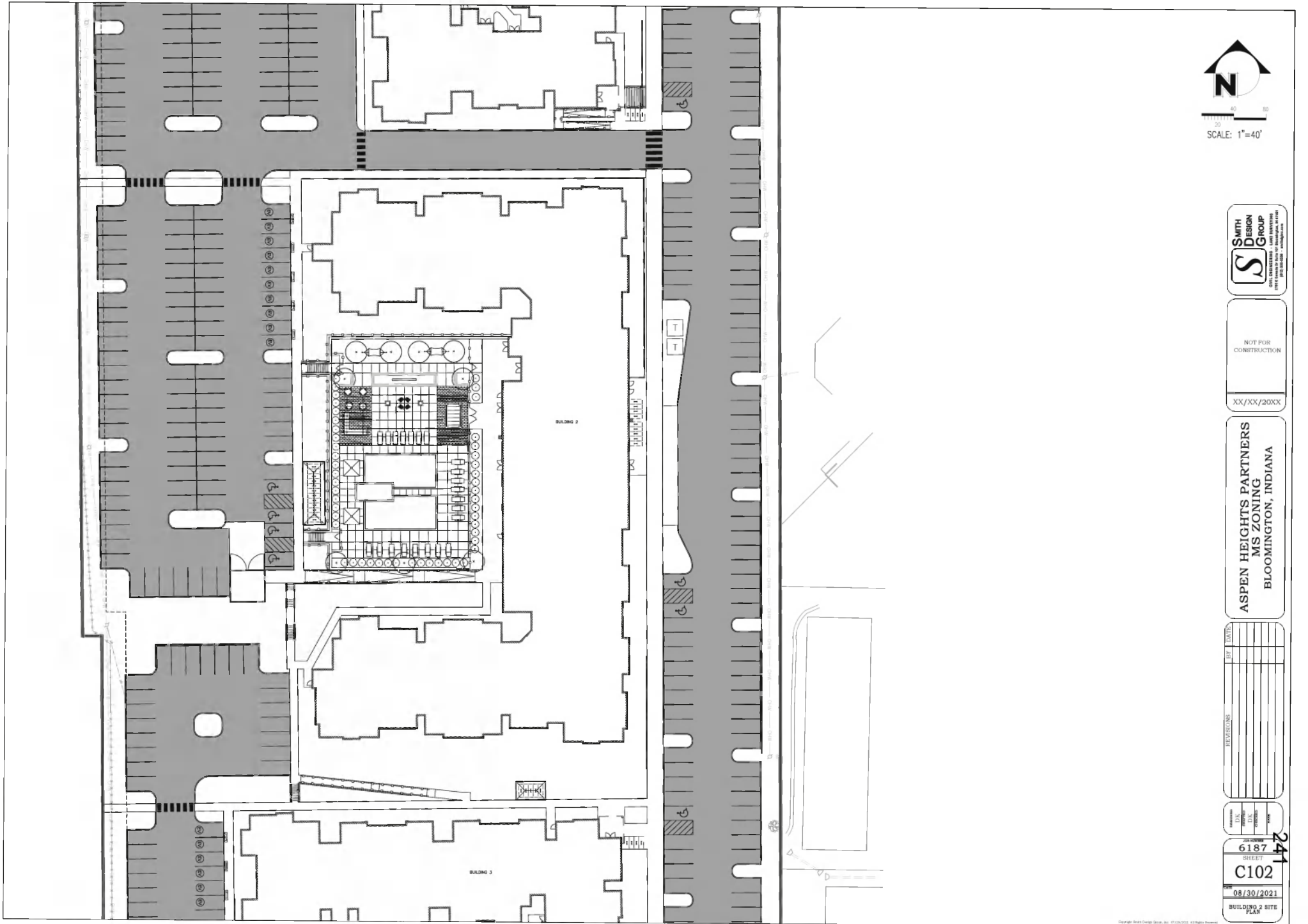
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SUBJECT	C101
DATE	08/30/2021
BUILDING J SITE PLAN	

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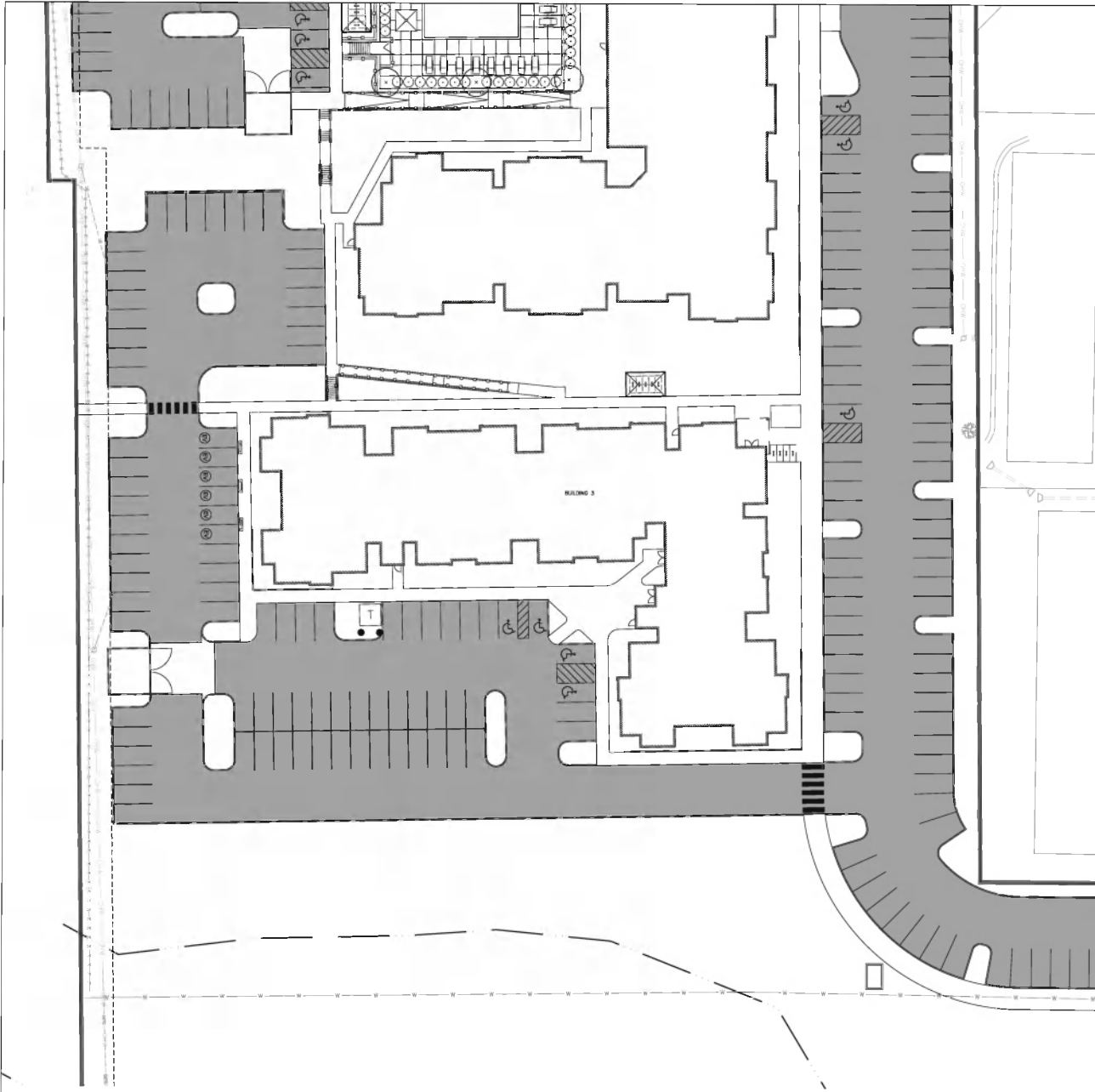
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ASPEN HEIGHTS PARTNERS  
MS ZONING  
BLOOMINGTON, INDIANA

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6187  
 SHEET  
**C102**  
 08/30/2021  
 BUILDING 2 SITE PLAN

241



NOT FOR  
CONSTRUCTION

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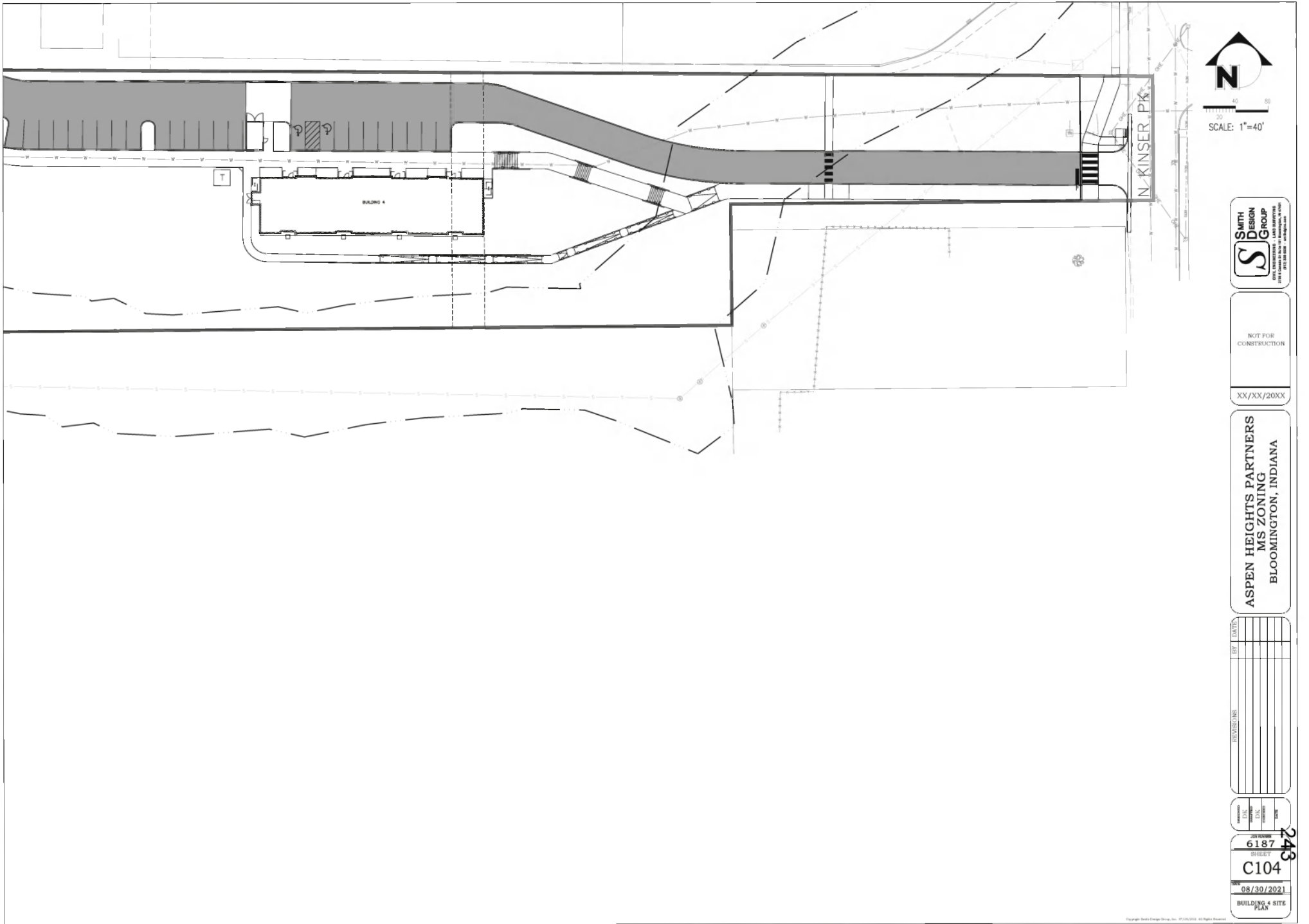
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MS ZONING  
BLOOMINGTON, INDIANA

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**6187**  
**C103**  
DATE: 08/30/2021  
BUILDING 3 SITE  
PLAN

242



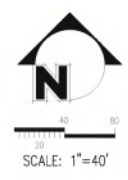
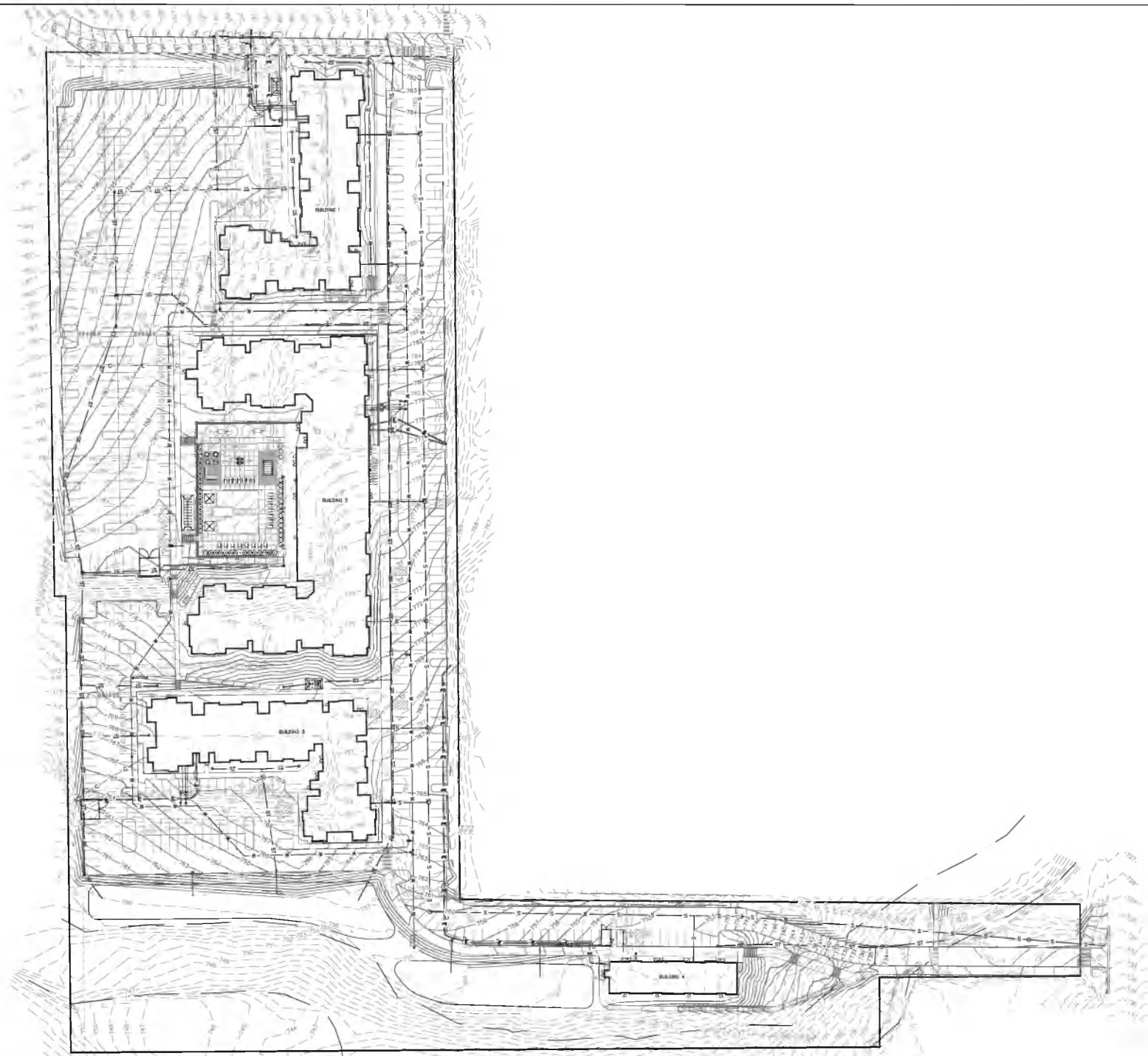
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ASPEN HEIGHTS PARTNERS  
 MS ZONING  
 BLOOMINGTON, INDIANA

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 C104  
 BUILDING 4 SITE PLAN

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NOT FOR  
CONSTRUCTION

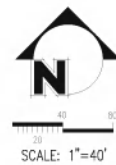
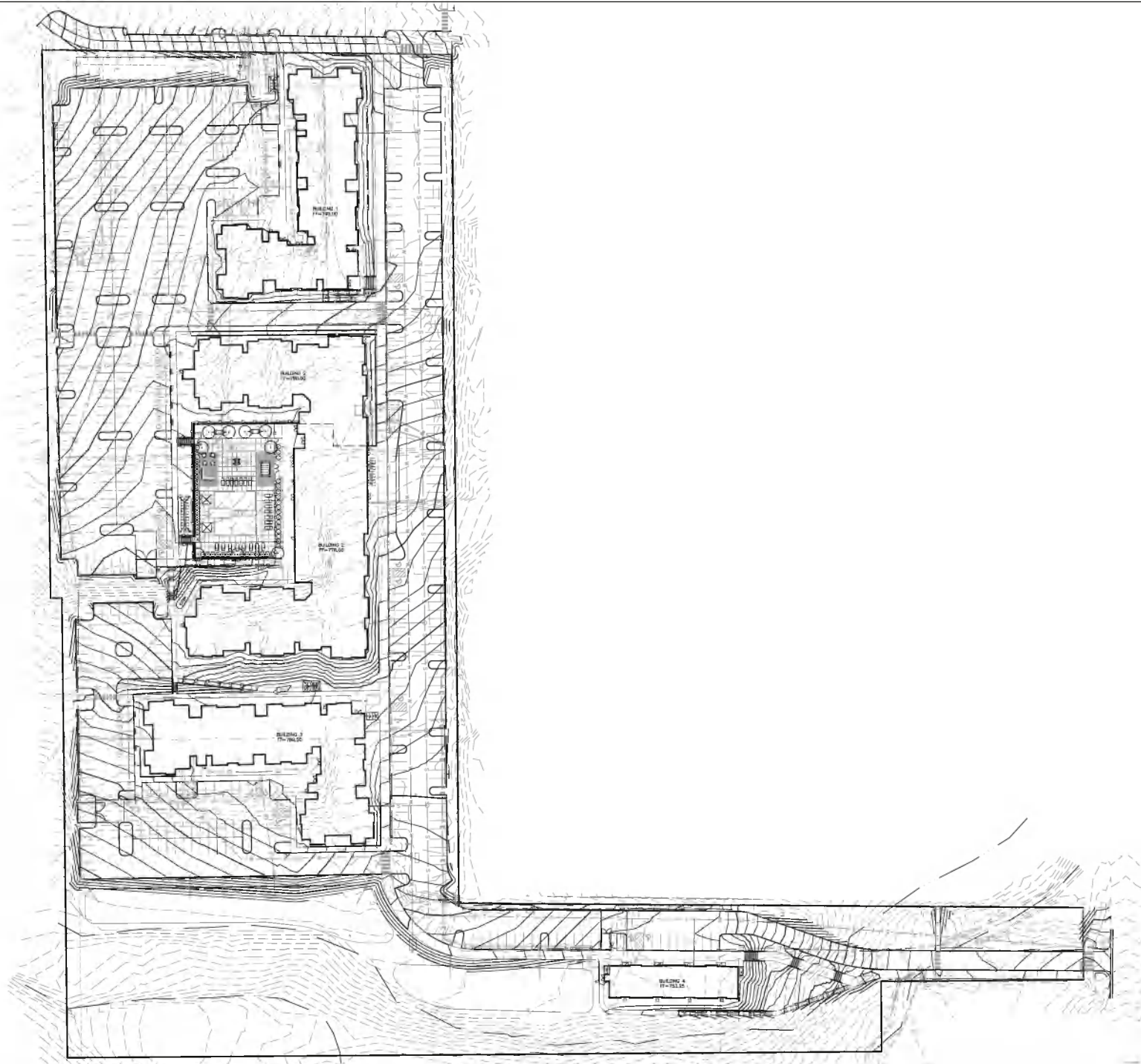
XX/XX/20XX

ASPEN HEIGHTS PARTNERS  
MS ZONING  
BLOOMINGTON, INDIANA

NO.	DATE	BY	REVISIONS

NO. 6187  
SHEET C200  
08/30/2021  
UTILITY PLAN

244



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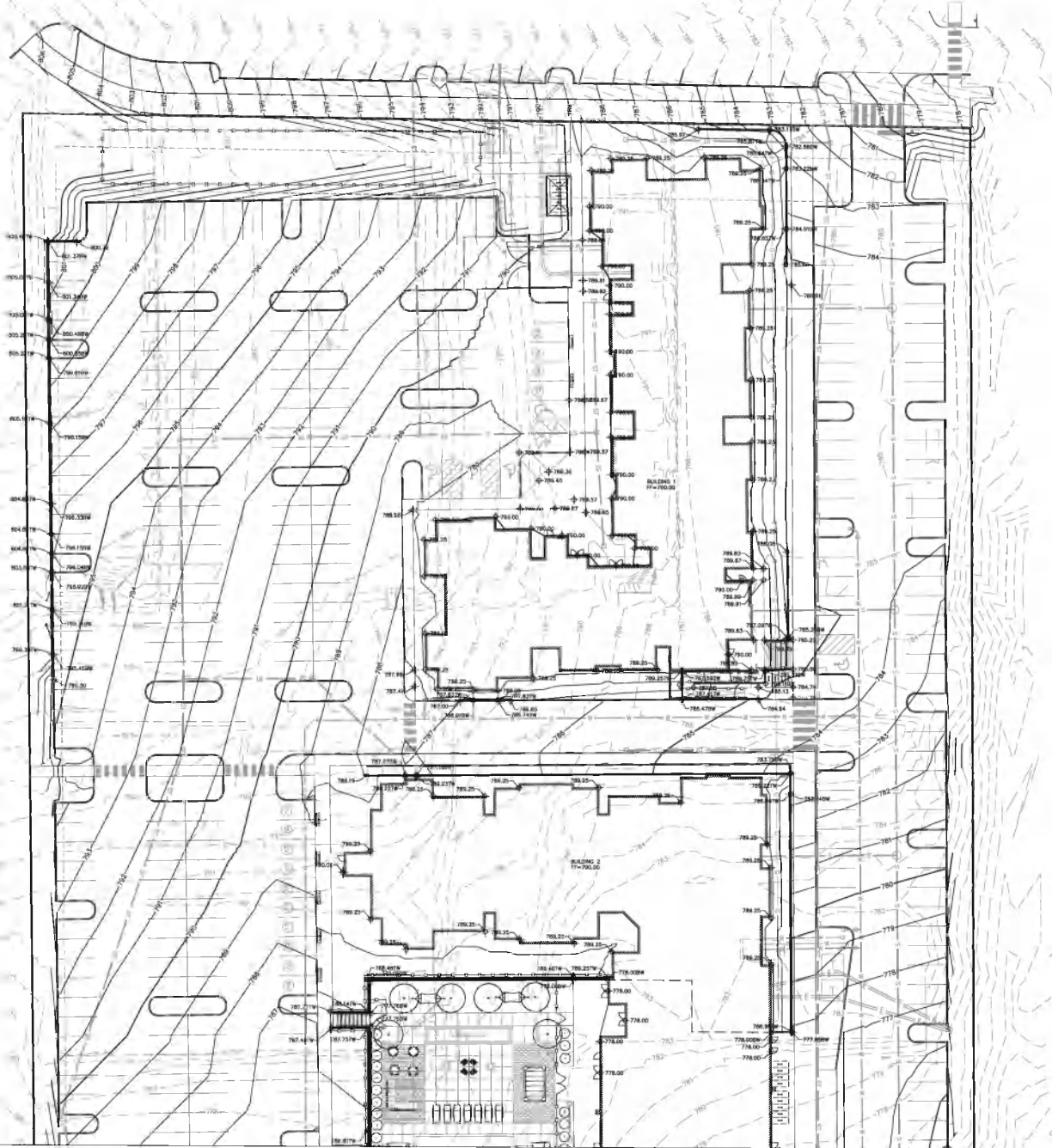
XX/XX/20XX

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MS ZONING  
BLOOMINGTON, INDIANA

NO.	DATE	DESCRIPTION

DATE PLOTTED	08/30/2021
PROJECT NO.	6187
SHEET NO.	C300
TITLE	GENERAL GRADING PLAN

245



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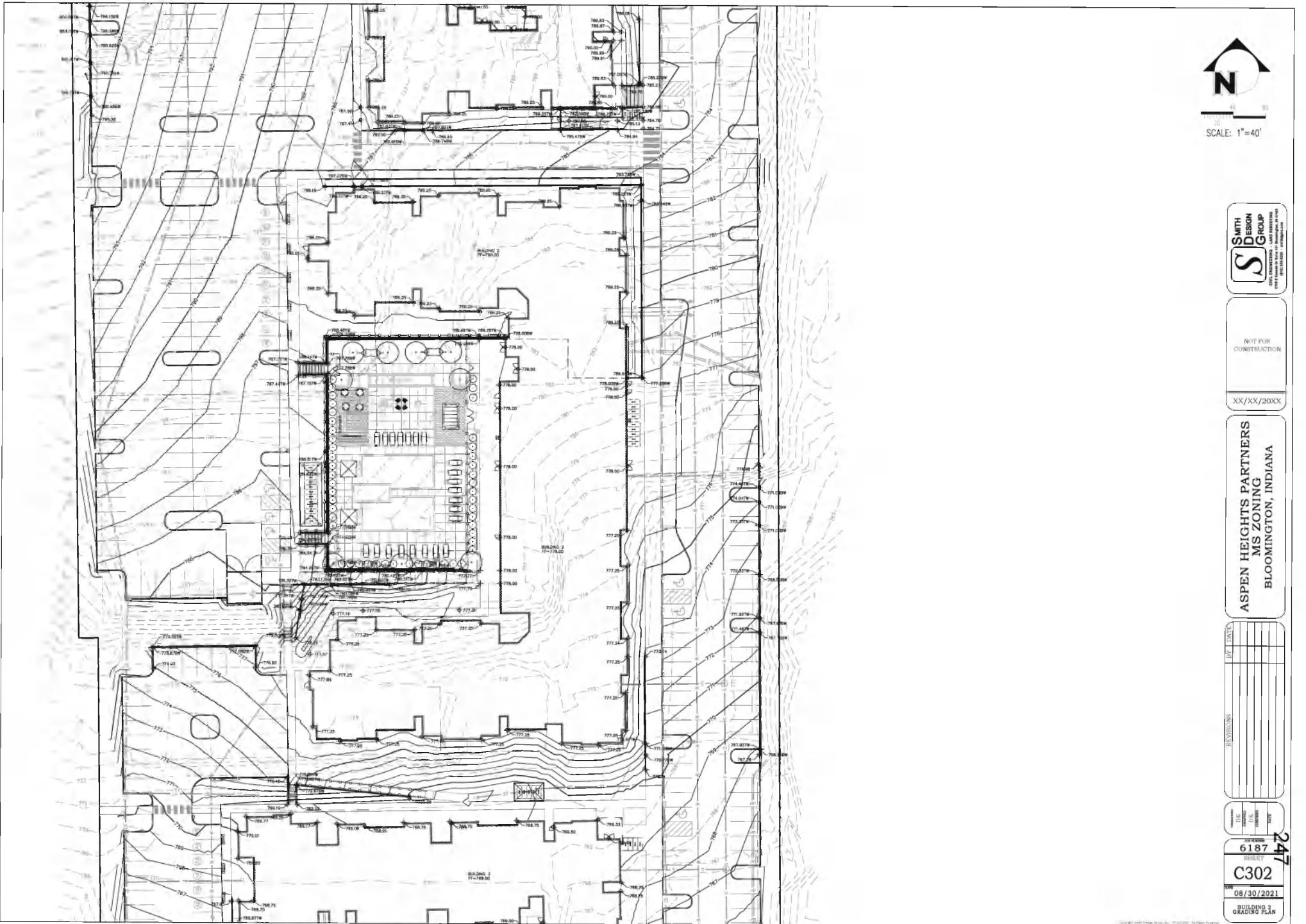
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BLOOMINGTON, INDIANA

REVISIONS	DATE	BY	LOTTA

SHEET NO. 6187  
 SHEET C301  
 DATE 08/30/2021  
 BUILDING GRADING PLAN

246



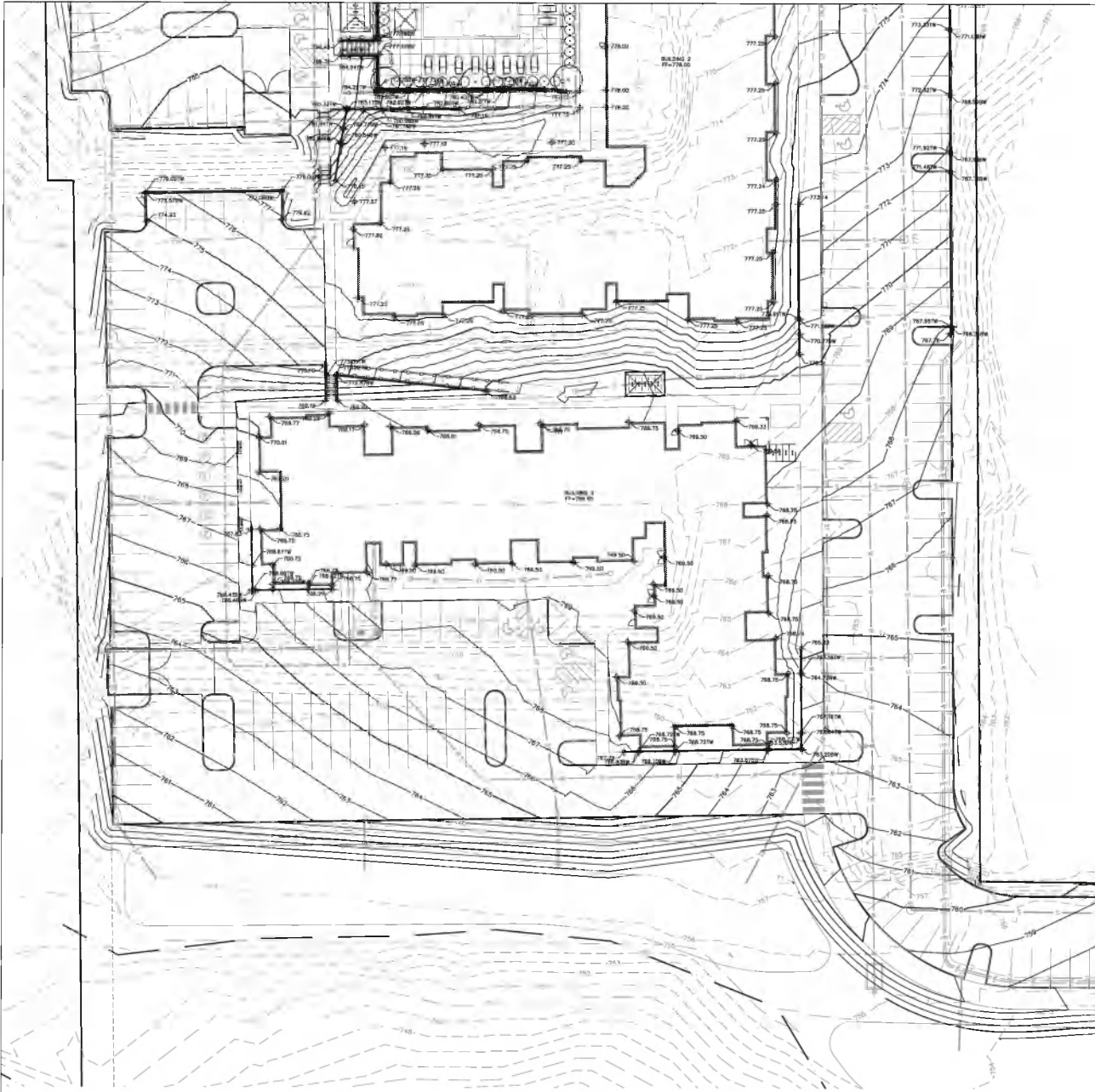
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ASPEN HEIGHTS PARTNERS  
MS ZONING  
BLOOMINGTON, INDIANA

REV	DATE	DESCRIPTION

DATE	08/30/2021
PROJECT	C302
NO. OF SHEETS	6187
TOTAL SHEETS	247
DATE	08/30/2021
PROJECT	C302
NO. OF SHEETS	6187
TOTAL SHEETS	247
DATE	08/30/2021
PROJECT	C302
NO. OF SHEETS	6187
TOTAL SHEETS	247

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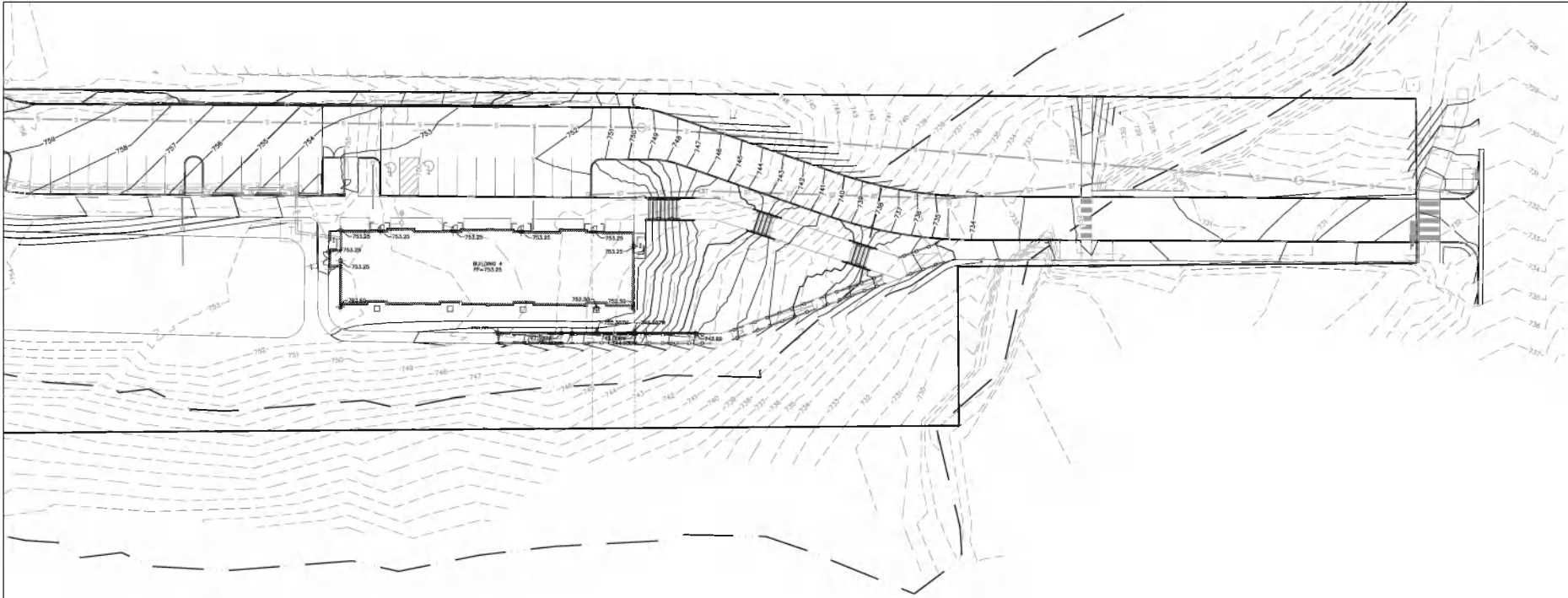
REVISIONS	BY	DATE

DATE  
6/18/21  
DRAWN BY  
C303  
CHECKED BY

PROJECT NO.  
6187  
SHEET  
C303  
DATE  
08/30/2021  
BUILDING 2  
GRADING PLAN

248





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ASPEN HEIGHTS PARTNERS  
MS ZONING  
BLOOMINGTON, INDIANA

NO.	DATE	DESCRIPTION

NO. 6187  
SHEET

C304

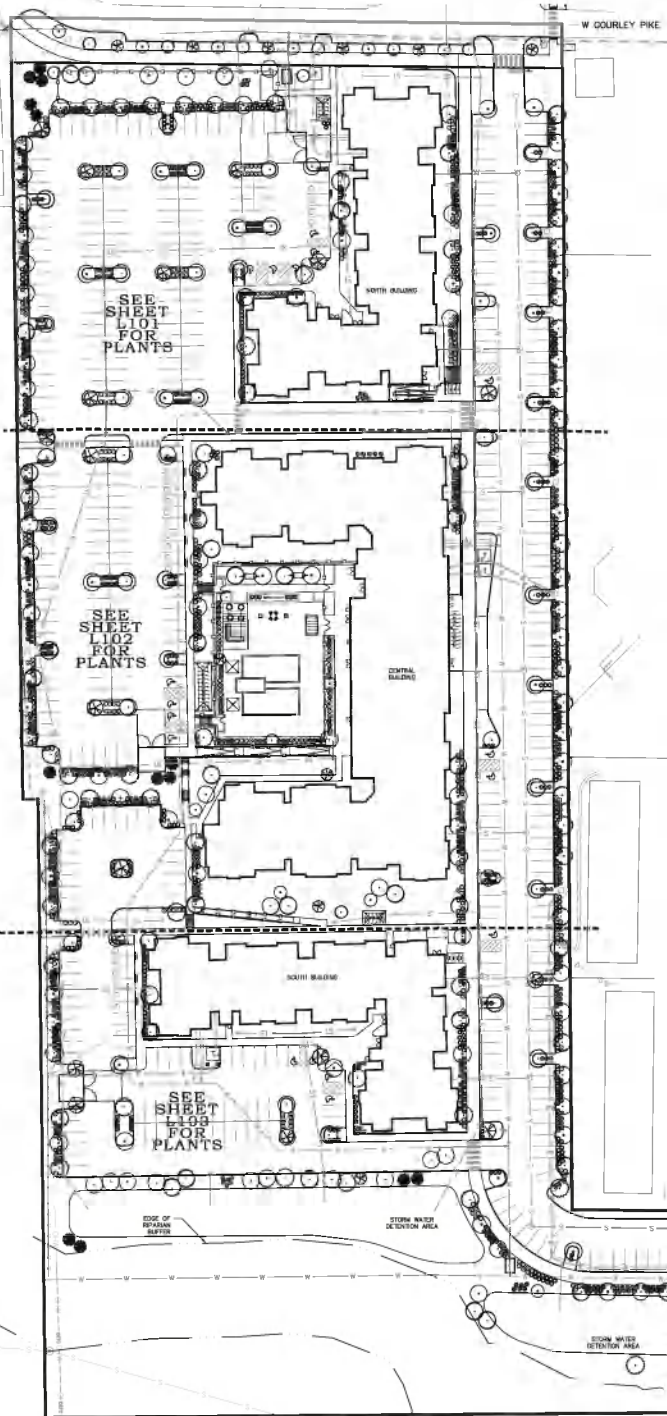
08/30/2021

BUILDING & GRADING PLAN

249

W CASCADE AVE

W COURLEY PIKE



**LANDSCAPE NOTES**

1. PLANT MATERIAL SPECIFICATIONS SHALL BE APPROVED BY THE CITY OF PLANNING PERIOD TO BE SUBMITTED.
2. ALL LANDSCAPE NOTES AND DETAILS SHALL BE IN ACCORDANCE WITH THE CITY OF PLANNING PERIOD TO BE SUBMITTED.
3. ALL LANDSCAPE NOTES AND DETAILS SHALL BE IN ACCORDANCE WITH THE CITY OF PLANNING PERIOD TO BE SUBMITTED.
4. SEE SHEET L101 FOR LANDSCAPE PLANTS.
5. SEE SHEET L102 FOR LANDSCAPE PLANTS.

**FINISH LAWN TYPE**

PERIOD TO BE SUBMITTED TO THE CITY OF PLANNING PERIOD TO BE SUBMITTED. PERIOD TO BE SUBMITTED TO THE CITY OF PLANNING PERIOD TO BE SUBMITTED.

**LANDSCAPE TABLES**

**STREET TREES PLANT TABLE**

ID	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
		IRIS		
CC	6	ZERGUS canadensis	Eastern Redbud	2" Caliper
CF	8	CORNUS florida	Flowering Dogwood	2" Caliper
CP	8	CORNYCOPUS phoenicifolium	Hawthorn	2" Caliper
QF	18	QUERCUS rubra	Northern Red Oak	2" Caliper

**LANDSCAPE PLANT TABLE FOR PARKING LOT PERIMETER**

ID	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	D-VALUE
		IRIS			
CC	6	ZERGUS canadensis	Eastern Redbud	2" Caliper	
CF	8	CORNUS florida	Flowering Dogwood	2" Caliper	
CP	8	CORNYCOPUS phoenicifolium	Hawthorn	2" Caliper	
QF	18	QUERCUS rubra	Northern Red Oak	2" Caliper	

**SHRUBS**

ID	SYMBOL	IRIS		
IS	30	IRIS sibirica	Siberian Iris	3 Galon
IV	30	IRIS virginica	Virginia Sweetflag	3 Galon
TC	30	IRIS canadensis	Canadian Iris	3 Galon
VA	30	IRIS versicolor	Blue Flag	3 Galon

**LANDSCAPE PLANT TABLE FOR BUMPOUTS ENDCAPS AND ISLANDS**

ID	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	D-VALUE
		IRIS			
LS	18	LIRIODENDRON tulipifera	Sweet Gum	2" Caliper	
LT	12	LIRIODENDRON tulipifera	Tulip Tree	2" Caliper	
SA	20	SAURURUS cernuus	Wormwood	2" Caliper	
SM	20	SAURURUS cernuus	Bur Oak	2" Caliper	

**INTERIOR LANDSCAPING PLANT TABLE**

ID	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	D-VALUE
		IRIS			
CF	7	CORNUS florida	Flowering Dogwood	2" Caliper	
CC	7	ZERGUS canadensis	Eastern Redbud	2" Caliper	
CP	7	CORNYCOPUS phoenicifolium	Hawthorn	2" Caliper	
QF	18	QUERCUS rubra	Northern Red Oak	2" Caliper	
LT	12	LIRIODENDRON tulipifera	Tulip Tree	2" Caliper	
NS	4	NYSSA sylvatica	Black Tupelo	2" Caliper	
PS	7	PRUNUS serotina	Black Cherry	2" Caliper	
PV	11	PRUNUS virginiana	Blackthorn	2" Caliper	
QF	18	QUERCUS rubra	Northern Red Oak	2" Caliper	

**SHRUBS**

ID	SYMBOL	IRIS		
IS	30	IRIS sibirica	Siberian Iris	3 Galon
IV	30	IRIS virginica	Virginia Sweetflag	3 Galon
TC	30	IRIS canadensis	Canadian Iris	3 Galon
VA	30	IRIS versicolor	Blue Flag	3 Galon

**Aspen Heights Apartments Low Multi Family Residential**

Zone MS

Landmark Requirements

**Street Trees Required**

- 1 canopy tree per 40 feet of property that abuts a public right-of-way. 3 trees every 20' of street trees under canopy trees.
- Country Club A/W >150' trees required (Street Trees (Small Power Lines))
- Kaiser Park A/W >70', 2 trees required

**Parking Lot Perimeter: 400 Parking Spaces for North Building Area**

- 1 Tree per 4 parking spaces required, 15% large trees, 12% trees required (SMA Large)
- 2 shrubs per parking space required, 1407 shrubs required

**Landscaping Runoff and Endcaps**

- 1 Island or bumpout required for every 10 spaces. 400 Spaces = 40 Bumpouts, endcap for island required. 70 Island and bumpouts provided each with a tree, and 2 trees for island length with 1 parking space.

**Interior Landscaping for Multifamily Development**

- Lot Area = 12.62 AC. Buildings, parking lots, walkways and riparian buffer=0.26 AC
- Area not covered by buildings, parking lots, walkways and riparian buffer=12.36 AC
- 14 large canopy trees, 5 evergreen trees and 3 med or small canopy trees required per every acre of site not covered by buildings, parking lot or structure.
- 51 large canopy trees required, 18 evergreen trees required, and 18 med or small trees required.
- 36 shrubs required per acre of site not covered by parking lot or structure
- 130 shrubs required



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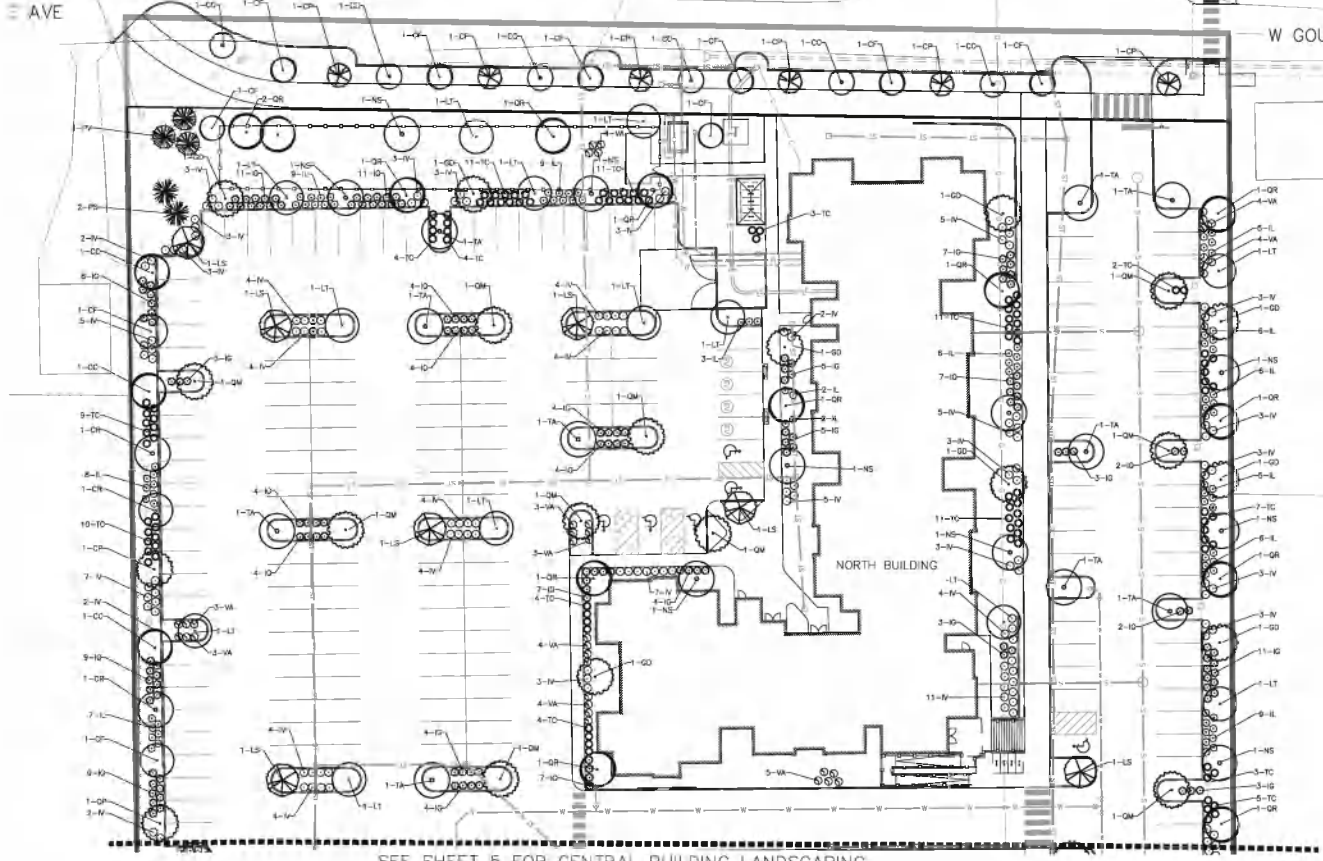
ASPEN HEIGHTS PARTNERS  
MS ZONING  
BLOOMINGTON, INDIANA

DATE	DESCRIPTION

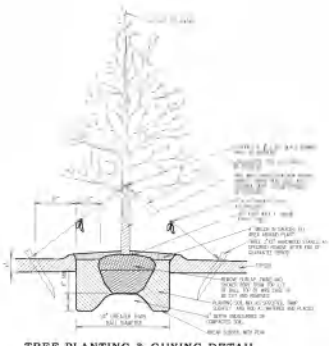
PROJECT NO: 61845  
SHEET: L100  
DATE: 08/30/2021  
OVERALL LANDSCAPE PLAN

E AVE

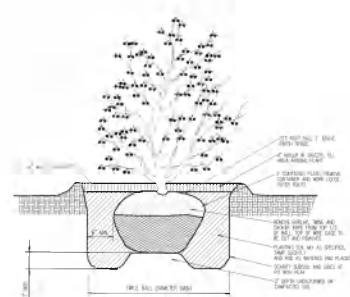
W GOURLEY PIKE



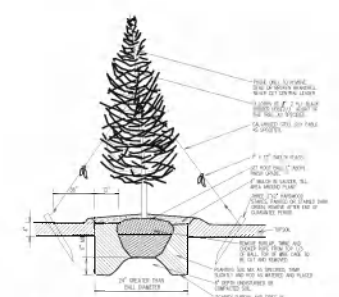
SEE SHEET 5 FOR CENTRAL BUILDING LANDSCAPING



TREE PLANTING & GUYING DETAIL  
NO SCALE



SHRUB PLANTING DETAIL  
NO SCALE



EVERGREEN PLANTING & GUYING DETAIL  
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XX/XX/20XX

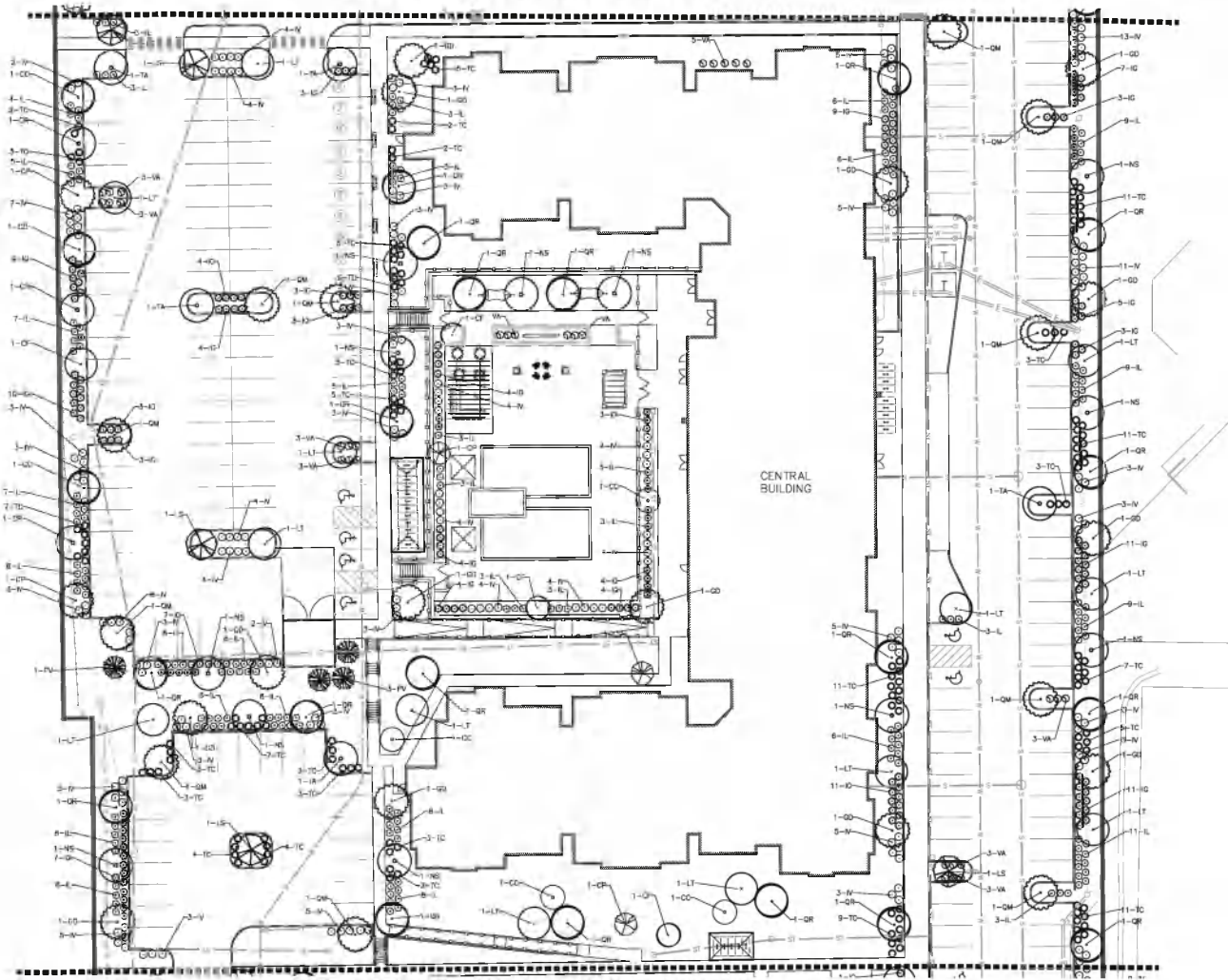
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BLOOMINGTON, INDIANA

REV	DATE	DESCRIPTION

DATE: 08/30/2021  
 SHEET: 618 OF 11

L101  
 08/30/2021  
 NORTH BUILDING  
 AREA LANDSCAPE

SEE SHEET 4 FOR NORTH BUILDING LANDSCAPING



SEE SHEET 6 FOR SOUTH BUILDING LANDSCAPING



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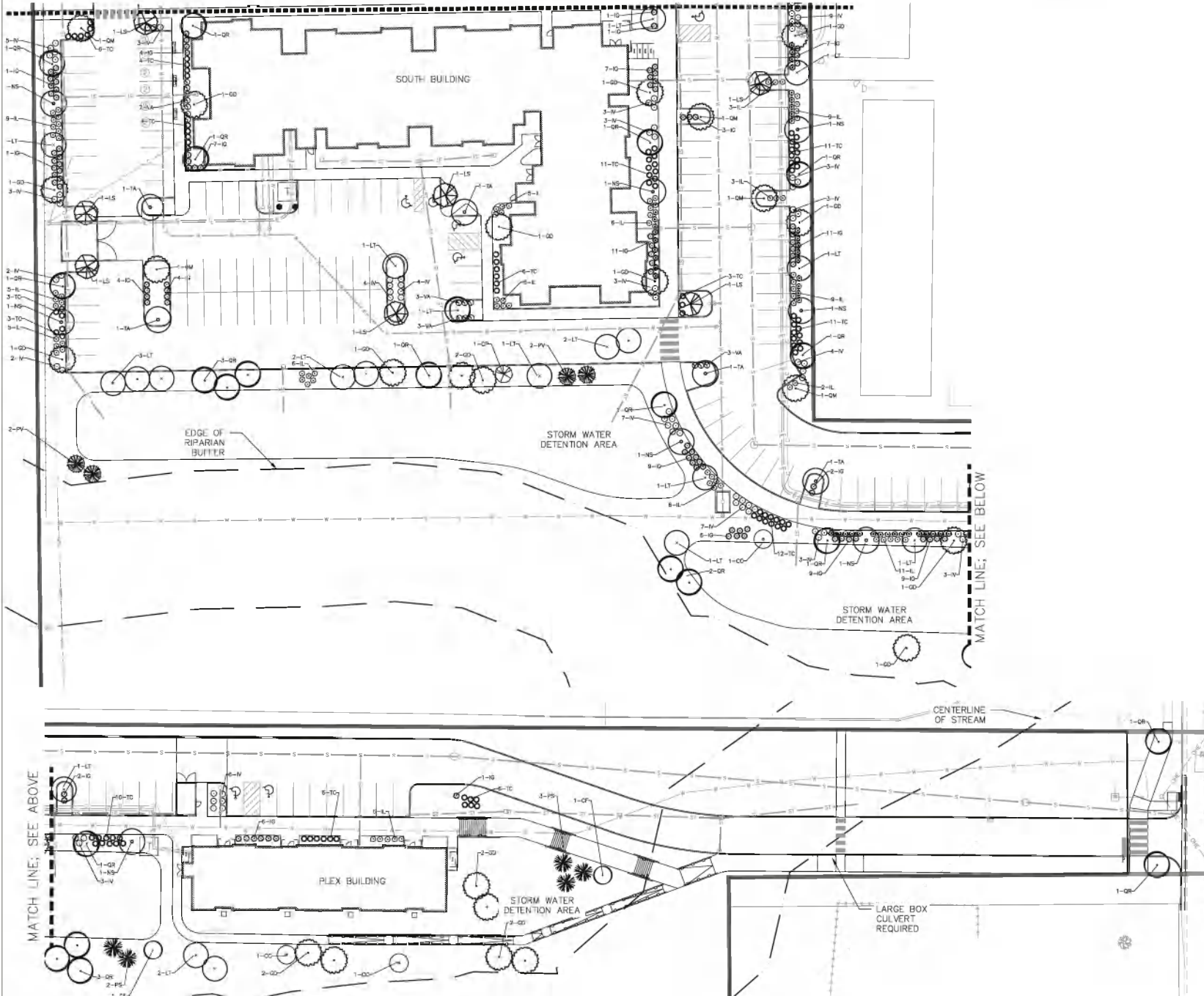
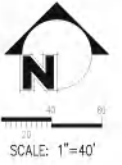
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MS ZONING  
BLOOMINGTON, INDIANA

NO.	DATE	REVISIONS

DATE: 08/30/2021  
 SHEET: L102  
 PROJECT: CENTRAL BUILDING  
 LANDSCAPE PLAN

SEE SHEET 5 FOR CENTRAL BUILDING LANDSCAPING

EXISTING  
 LOT 3 - 172 BEDS  
 PARKING = 73 SPACES



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REVISIONS	REV.	DATE

DATE	6/18/21
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CHECKED	
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PROJECT NO. 61875  
 SHEET L103  
 08/30/2021  
 SOUTH BUILDING AREA LANDSCAPE



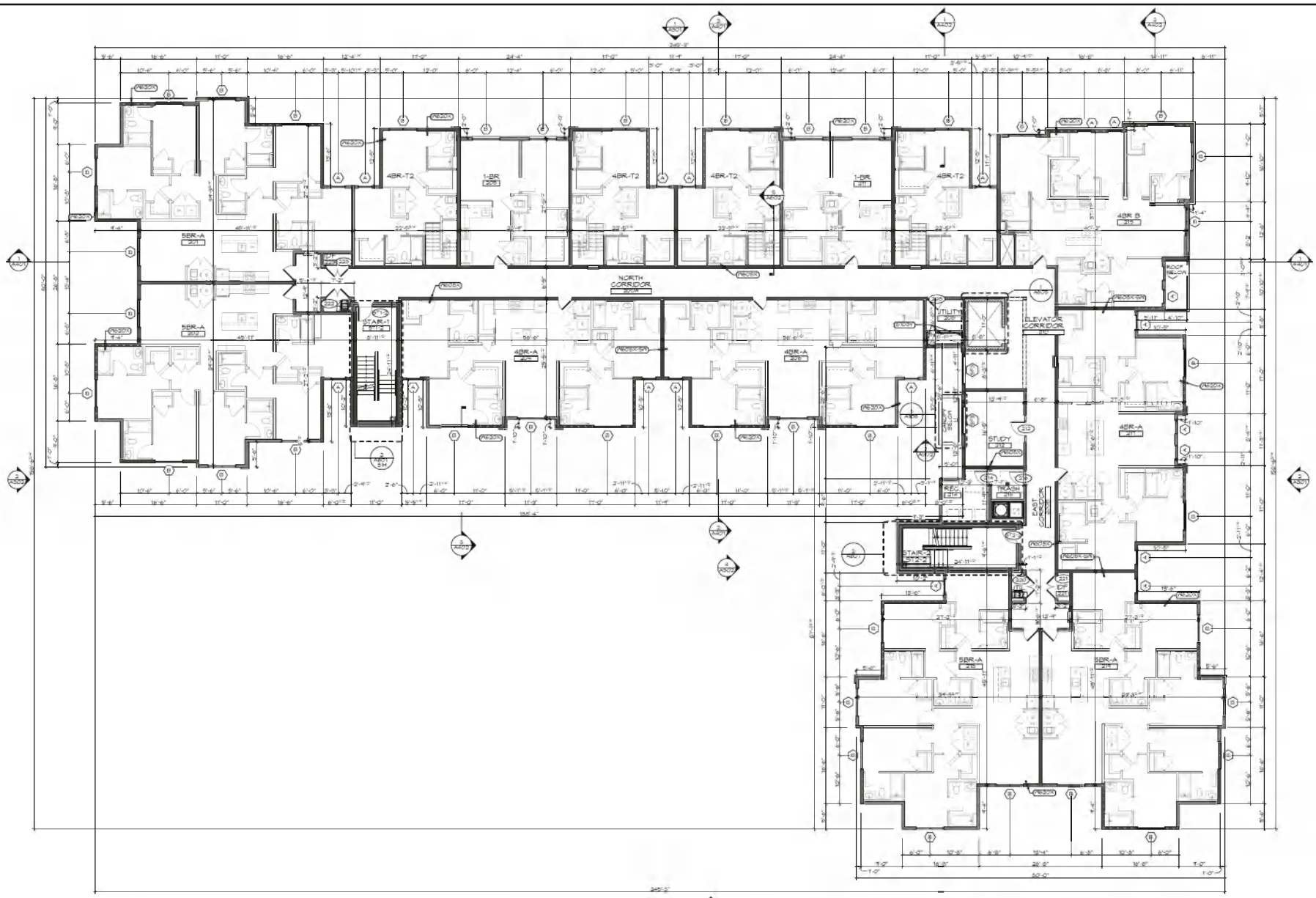








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 Plot Date: 8/30/2021 2:51 PM



N  
 BLDG 1    1    BLDG 3  
**SECOND FLOOR**  
 SCALE: 1/8" = 1'-0"

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 Architecture  
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 Planning  
 Interiors

Date: 08/30/21

Job #: 202108

Drawn: JPH/MS

Title: A102

Rev. No.

Name

Date

2021 BLDG 1 & 3 COMP

652

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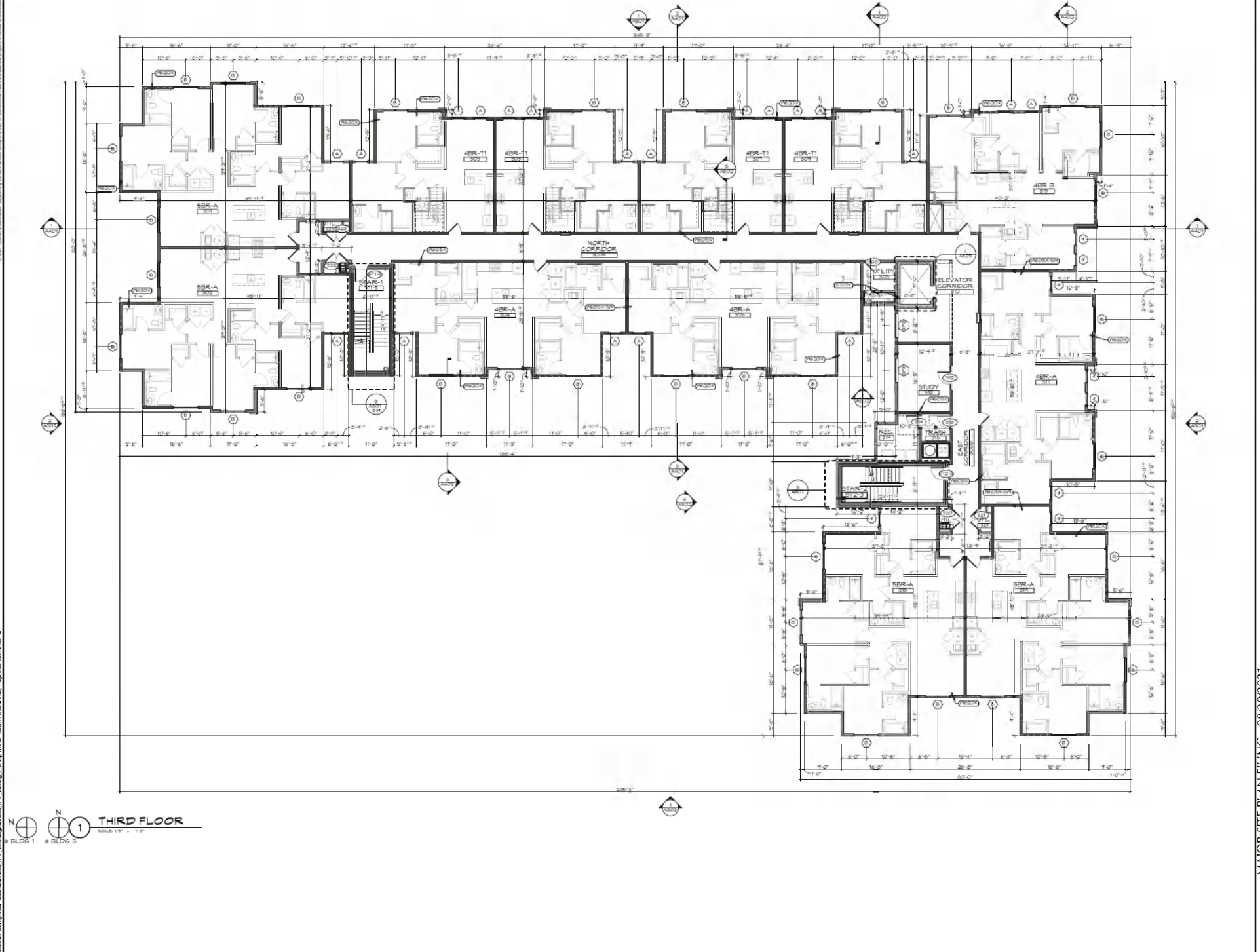
AHP - Bloomington - Building 1 & 3

203 West Courley Pike  
 Bloomington, Indiana 47404

A102

SECOND FLOOR  
 PLAN

Building Name: Local: Bldgs03/0328 AHP - Bloomington0328 AHP - Building 1 - Cong. THIRD FLOOR PLAN Monday, August 30, 2021 2:05 PM



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 BLDG 1    1    THIRD FLOOR  
 BLDG 2  
 SCALE: 1/8" = 1'-0"

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Rev. No.	Name	Date

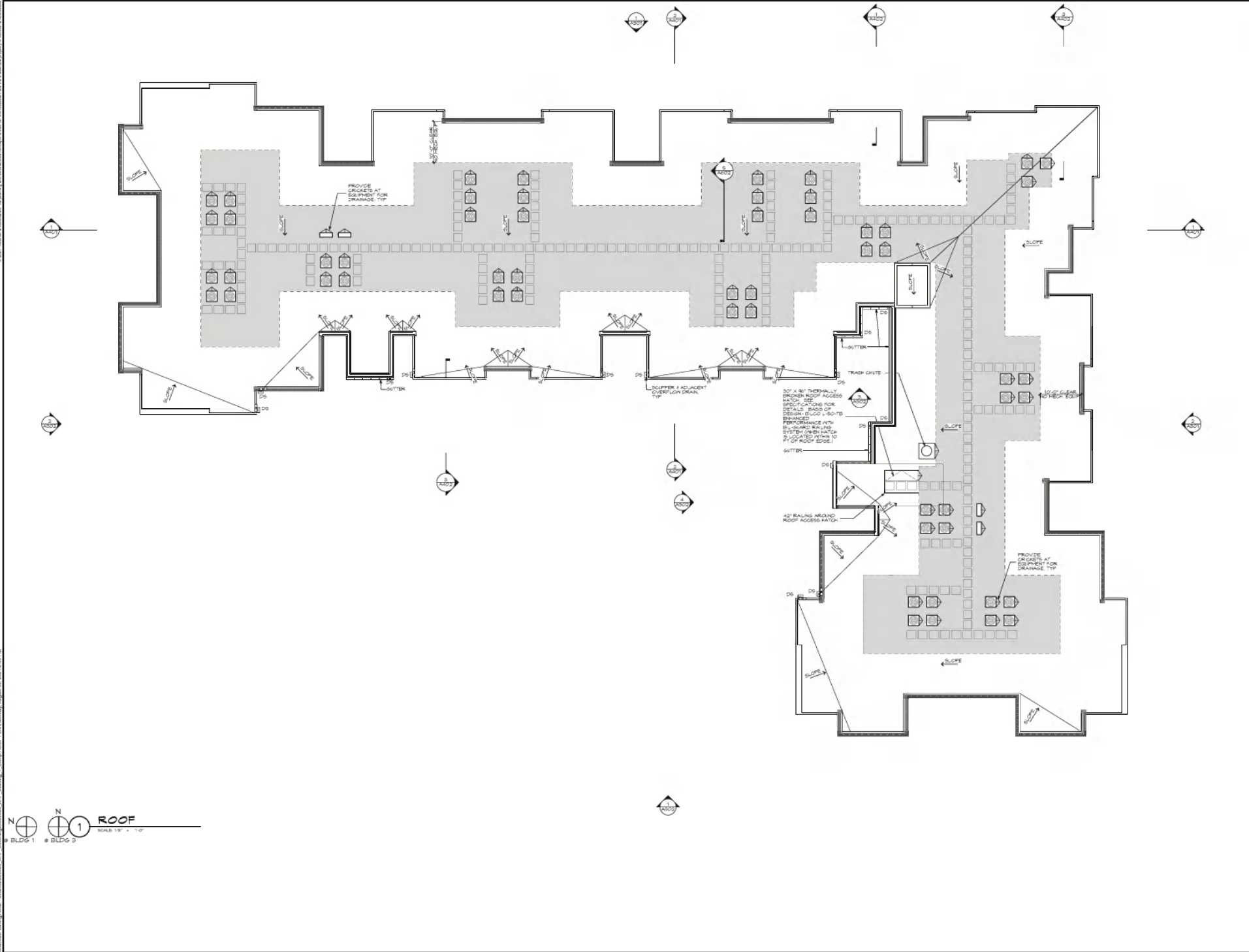
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 CONG BLDG 1-3 COMP

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 203 West Courley Pike  
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A103  
 THIRD FLOOR PLAN



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Job #:	202028
Drawn:	ADYTB
By:	AKB
Rev. No.	Rev. Name Date

2020 BLDG-13 COMP

MAJOR SITE PLAN FILING - 08/30/2021  
**AHP - Bloomington - Building 1 & 3**  
 703 West Courley Pike  
 Bloomington, Indiana 47404

A105  
 ROOF PLAN





1 EAST ELEVATION  
 BUILDING 5: NORTH ELEVATION (5M)



2 EAST ELEVATION  
 BUILDING 5: NORTH ELEVATION (5M)

ELEVATION NOTES:	ELEVATION KEYNOTES	KEY PLAN
<p><b>GENERAL NOTES:</b></p> <p>1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.</p> <p>2. FINISH GRADES TO MATCH SURROUNDING GRADES.</p> <p>3. MATERIALS TO MATCH SURROUNDING BUILDINGS.</p> <p>4. WINDOW FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>5. ALL MATERIALS TO MATCH SURROUNDING BUILDINGS.</p> <p>6. ALL WINDOW FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>7. ALL WINDOW FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>8. ALL WINDOW FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>9. ALL WINDOW FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>10. ALL WINDOW FINISHES TO MATCH SURROUNDING BUILDINGS.</p>	<p><b>KEYNOTES:</b></p> <p>1. UP EXTERIOR FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>2. UP EXTERIOR FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>3. UP EXTERIOR FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>4. UP EXTERIOR FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>5. UP EXTERIOR FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>6. UP EXTERIOR FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>7. UP EXTERIOR FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>8. UP EXTERIOR FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>9. UP EXTERIOR FINISHES TO MATCH SURROUNDING BUILDINGS.</p> <p>10. UP EXTERIOR FINISHES TO MATCH SURROUNDING BUILDINGS.</p>	<p><b>KEY PLAN:</b></p> <p>1. BUILDING 1</p> <p>2. BUILDING 2</p> <p>3. BUILDING 3</p> <p>4. BUILDING 4</p> <p>5. BUILDING 5</p> <p>6. BUILDING 6</p> <p>7. BUILDING 7</p> <p>8. BUILDING 8</p> <p>9. BUILDING 9</p> <p>10. BUILDING 10</p> <p>11. BUILDING 11</p> <p>12. BUILDING 12</p>

MAJOR SITE PLAN FILING - 08/30/2021

AHP - Bloomington - Building 1 & 3  
 49203 West Courtey Pike  
 Bloomington, Indiana 47404

Approval Stamp  
 LIC: 141220001

Date:	08/30/21
Job #:	20048
Client:	AHP13
Proj:	A302
Rev:	
By:	
Check:	
Date:	
By:	
Date:	
By:	

08/30/2021 10:30 AM





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**1 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"  
BUILDING 3: WEST ELEVATION (SIM)



**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"  
BUILDING 3: SOUTH ELEVATION (SIM)

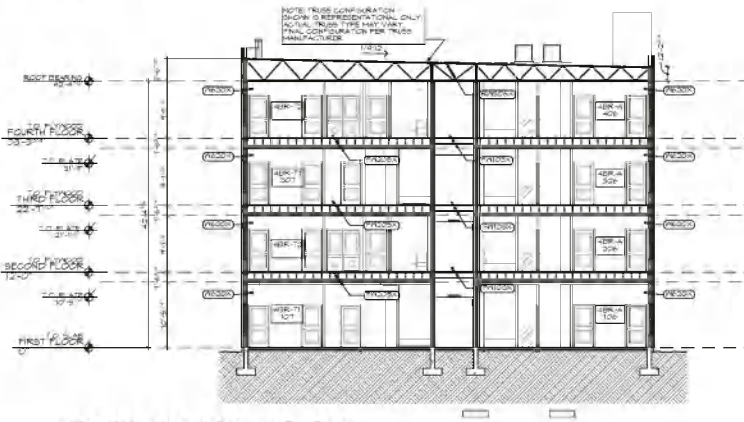
ELEVATION NOTES	ELEVATION KEYNOTES	KEY PLAN
<p><b>GENERAL CONDITIONS</b></p> <p>1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL WORK ARE AS SHOWN ON ALL DRAWINGS AND SPECIFICATIONS.</p> <p><b>WORKMANSHIP</b></p> <p>2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.</p> <p><b>FINISHES</b></p> <p>3. ALL FINISHES SHALL BE AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS.</p> <p><b>PROTECTION</b></p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.</p>	<p><b>GENERAL CONDITIONS</b></p> <p>1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL WORK ARE AS SHOWN ON ALL DRAWINGS AND SPECIFICATIONS.</p> <p><b>WORKMANSHIP</b></p> <p>2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.</p> <p><b>FINISHES</b></p> <p>3. ALL FINISHES SHALL BE AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS.</p> <p><b>PROTECTION</b></p> <p>4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.</p>	<p><b>KEY PLAN</b></p>

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Planning Services Local BIMbaud202009\_AHP - Building 1 - Comp BUILDING SECTIONS Monday, August 29, 2022 1:44 PM



1 BUILDING LONGITUDINAL SECTION  
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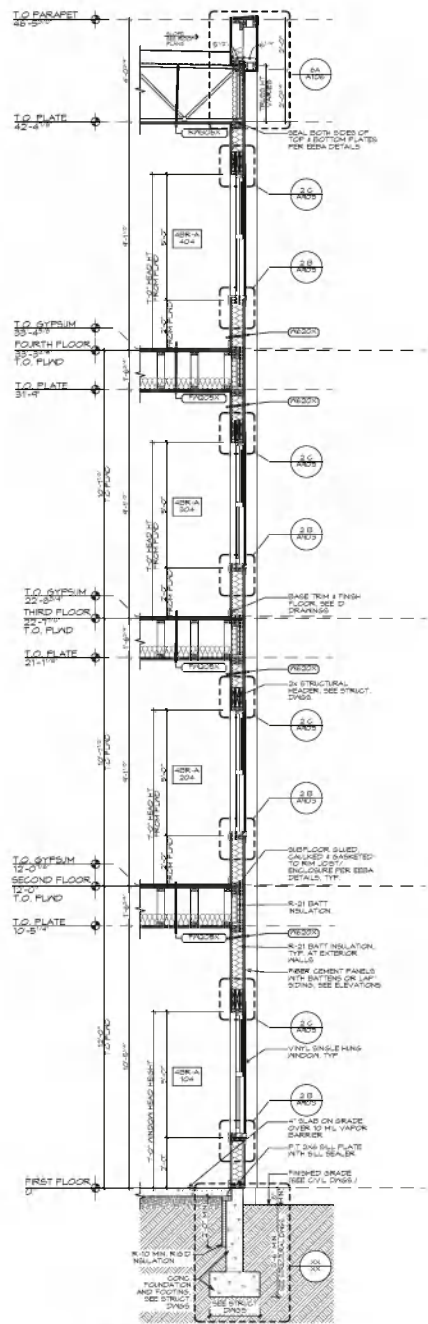
2 BUILDING CROSS SECTION  
SCALE: 1/8" = 1'-0"

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Bloomington, IN 47403  
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2025 - 2026 - 2027 - 2028 - 2029 - 2030 - 2031 - 2032 - 2033 - 2034 - 2035 - 2036 - 2037 - 2038 - 2039 - 2040 - 2041 - 2042 - 2043 - 2044 - 2045 - 2046 - 2047 - 2048 - 2049 - 2050



1 TYPICAL WALL SECTION  
SCALE: 1/8" = 1'-0"

700 South America  
College Road, #2000  
Bloomington, IN 47404  
Phone: 317.340.1000  
Fax: 317.340.1005  
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Date:	06/03/21	
Job #:	20028	
Drawn:	ADPTD	
Rev:	ADD	
Rev No.	Name	Date

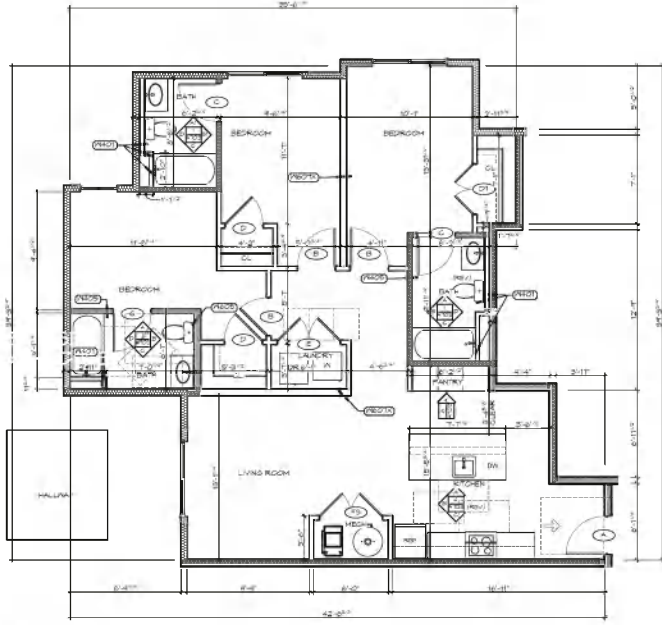
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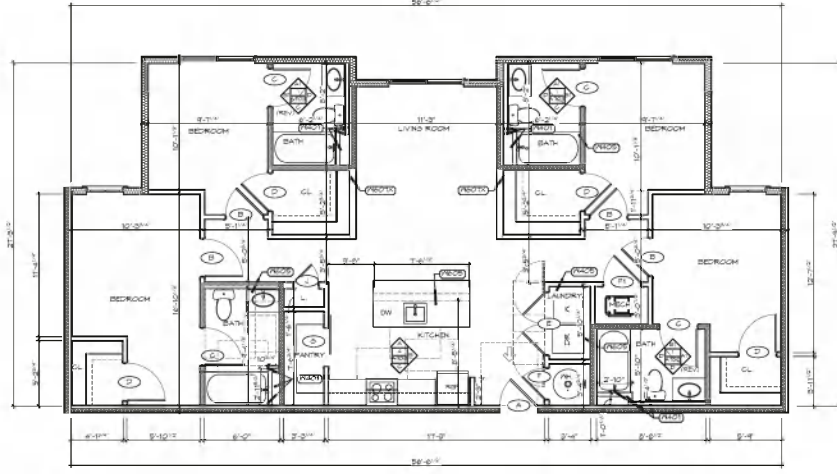
AHP - Bloomington - Building 1  
203 West Courley Pike  
Bloomington, Indiana 47404

A402  
WALL SECTIONS

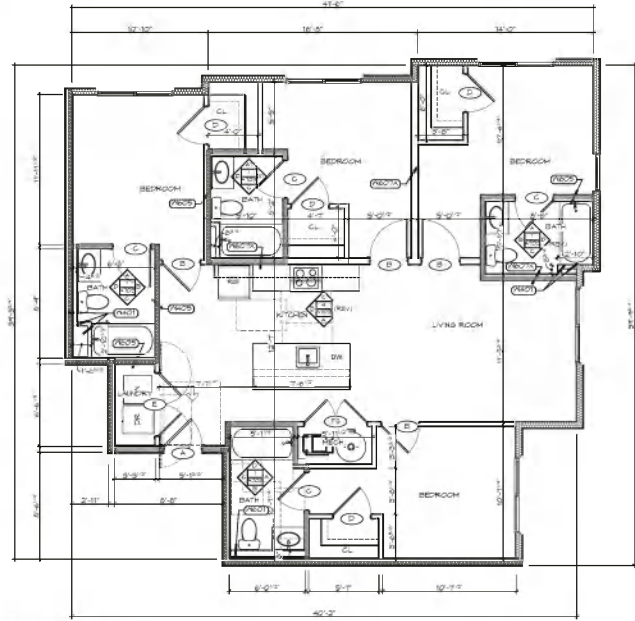




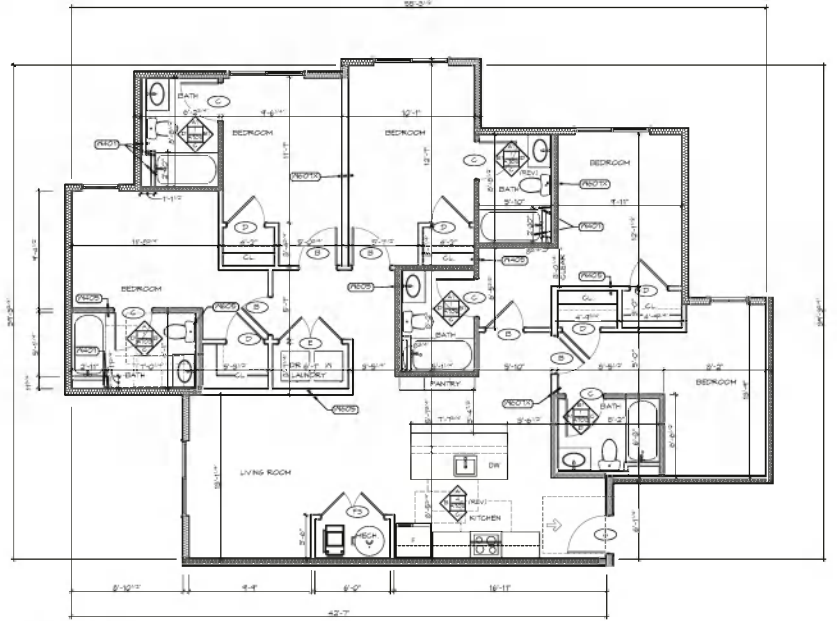
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2 4-BR-A  
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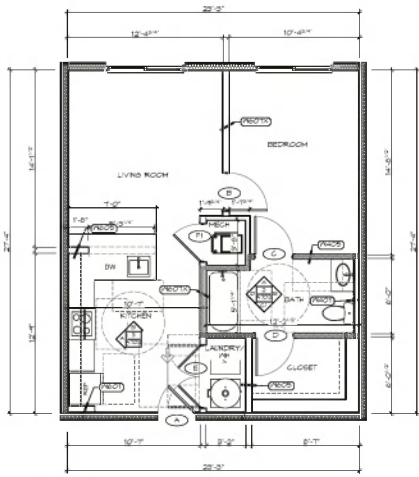
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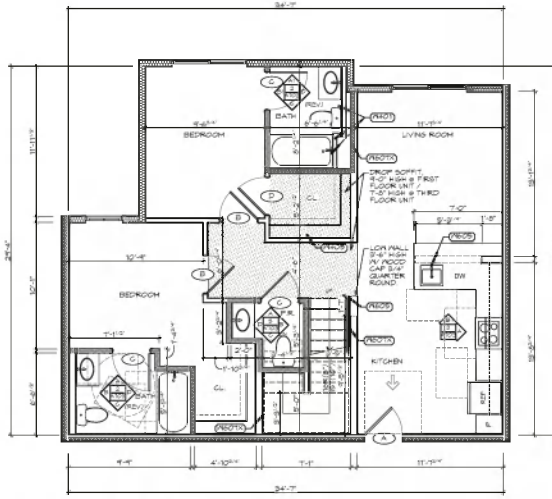
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Job #:	202028	
Drawn:	APV/TS	
Mo:	APB	
Rev. No.	Name	Date

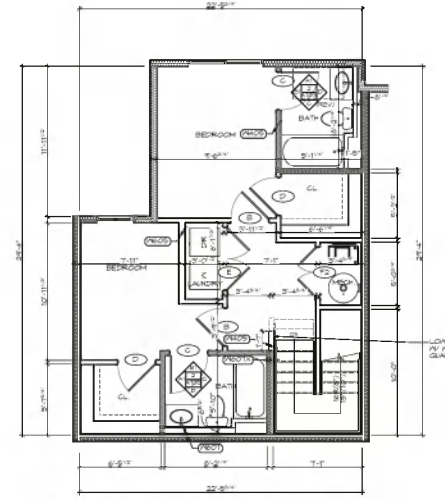
0000 BLDG-13 COMP



1 1-BR-A  
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SCALE 1/4" = 1'-0"



3 4-BR-T2 (UPPER LEVEL)  
SCALE 1/4" = 1'-0"

Date:	08/20/21	
Job #:	202028	
Drawn:	AD/PTB	
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Rev No.	Name	Date



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**AHP - Bloomington - Building 1 & 3**  
2023 West Courley Pike  
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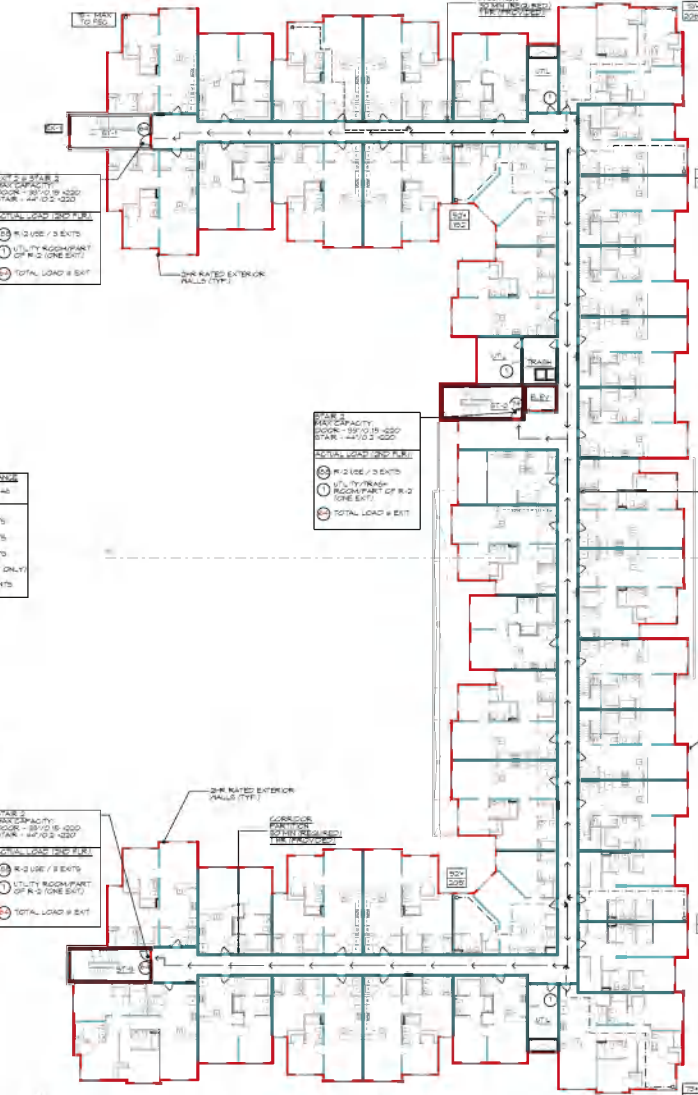
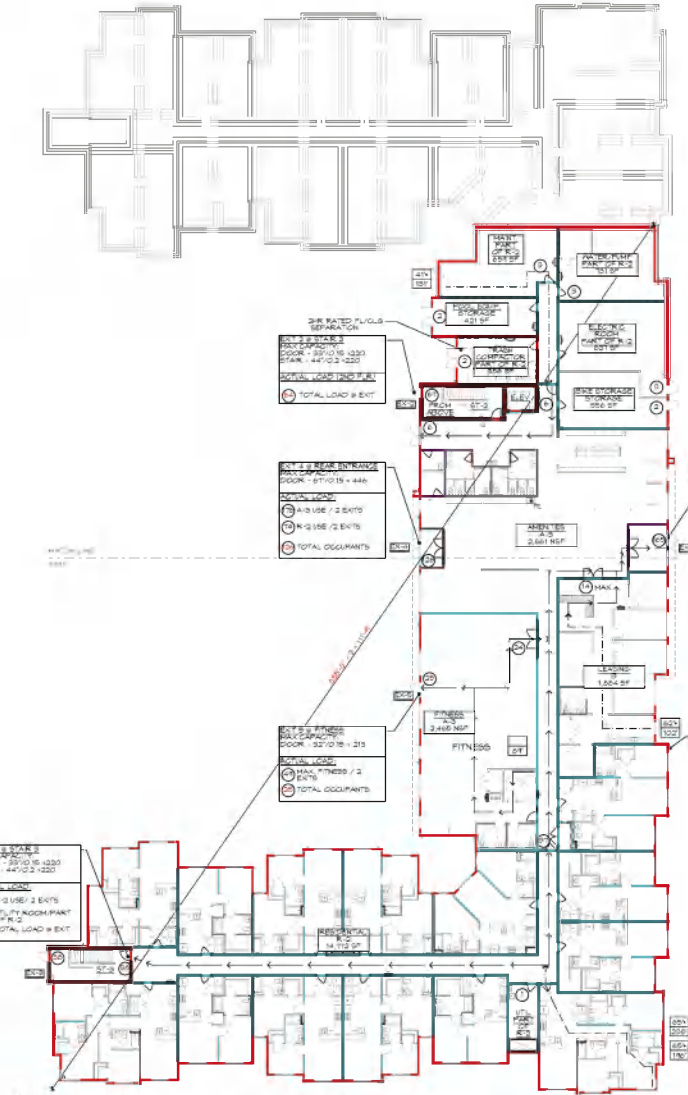




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### LIFE SAFETY PLAN NOTES

1. ALL OCCUPANCY AREAS SHALL BE MARKED WITH AN APPROPRIATE OCCUPANCY CLASSIFICATION AND THE NUMBER OF SEATS SHALL BE INDICATED. SEE NOTE 2 FOR SEATING CAPACITY.
2. ALL OCCUPANCY AREAS SHALL BE MARKED WITH AN APPROPRIATE OCCUPANCY CLASSIFICATION AND THE NUMBER OF SEATS SHALL BE INDICATED. SEE NOTE 1 FOR SEATING CAPACITY.
3. ALL OCCUPANCY AREAS SHALL BE MARKED WITH AN APPROPRIATE OCCUPANCY CLASSIFICATION AND THE NUMBER OF SEATS SHALL BE INDICATED. SEE NOTE 1 FOR SEATING CAPACITY.
4. ALL OCCUPANCY AREAS SHALL BE MARKED WITH AN APPROPRIATE OCCUPANCY CLASSIFICATION AND THE NUMBER OF SEATS SHALL BE INDICATED. SEE NOTE 1 FOR SEATING CAPACITY.
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6. ALL OCCUPANCY AREAS SHALL BE MARKED WITH AN APPROPRIATE OCCUPANCY CLASSIFICATION AND THE NUMBER OF SEATS SHALL BE INDICATED. SEE NOTE 1 FOR SEATING CAPACITY.
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8. ALL OCCUPANCY AREAS SHALL BE MARKED WITH AN APPROPRIATE OCCUPANCY CLASSIFICATION AND THE NUMBER OF SEATS SHALL BE INDICATED. SEE NOTE 1 FOR SEATING CAPACITY.
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19. ALL OCCUPANCY AREAS SHALL BE MARKED WITH AN APPROPRIATE OCCUPANCY CLASSIFICATION AND THE NUMBER OF SEATS SHALL BE INDICATED. SEE NOTE 1 FOR SEATING CAPACITY.
20. ALL OCCUPANCY AREAS SHALL BE MARKED WITH AN APPROPRIATE OCCUPANCY CLASSIFICATION AND THE NUMBER OF SEATS SHALL BE INDICATED. SEE NOTE 1 FOR SEATING CAPACITY.



### LIFE SAFETY LEGEND

- 1 HOUR RATED FIRE PARTITION
- 2 HOUR RATED FIRE PARTITION
- 1 HOUR RATED FIRE BARRIER
- 2 HOUR RATED FIRE BARRIER
- COMMUNICATION OF ESCAPE TRAVEL
- EXIT ACCESS TRAVEL DISTANCE
- POINT AT WHICH EXITS BECOME AVAILABLE
- LENGTH OF COMMON PATH OF EXITS
- TOTAL LENGTH OF EXIT ACCESS
- TOTAL LENGTH OF EXIT ACCESS
- WALL MOUNTED FIRE EXTINGUISHER
- WALL MOUNTED FIRE EXTINGUISHER
- EXIT SIGN
- EMERGENCY LIGHTING (BATTERY UNIT)

NOTE: ORIGINAL DRAWING PRODUCED, AND BEST VIEWED AND PRINTED, IN COLOR.

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Chicago, IL 60604  
312.328.8000

Date: 08/30/2021

JOB # 20088

Client TDAI

Rev: 000

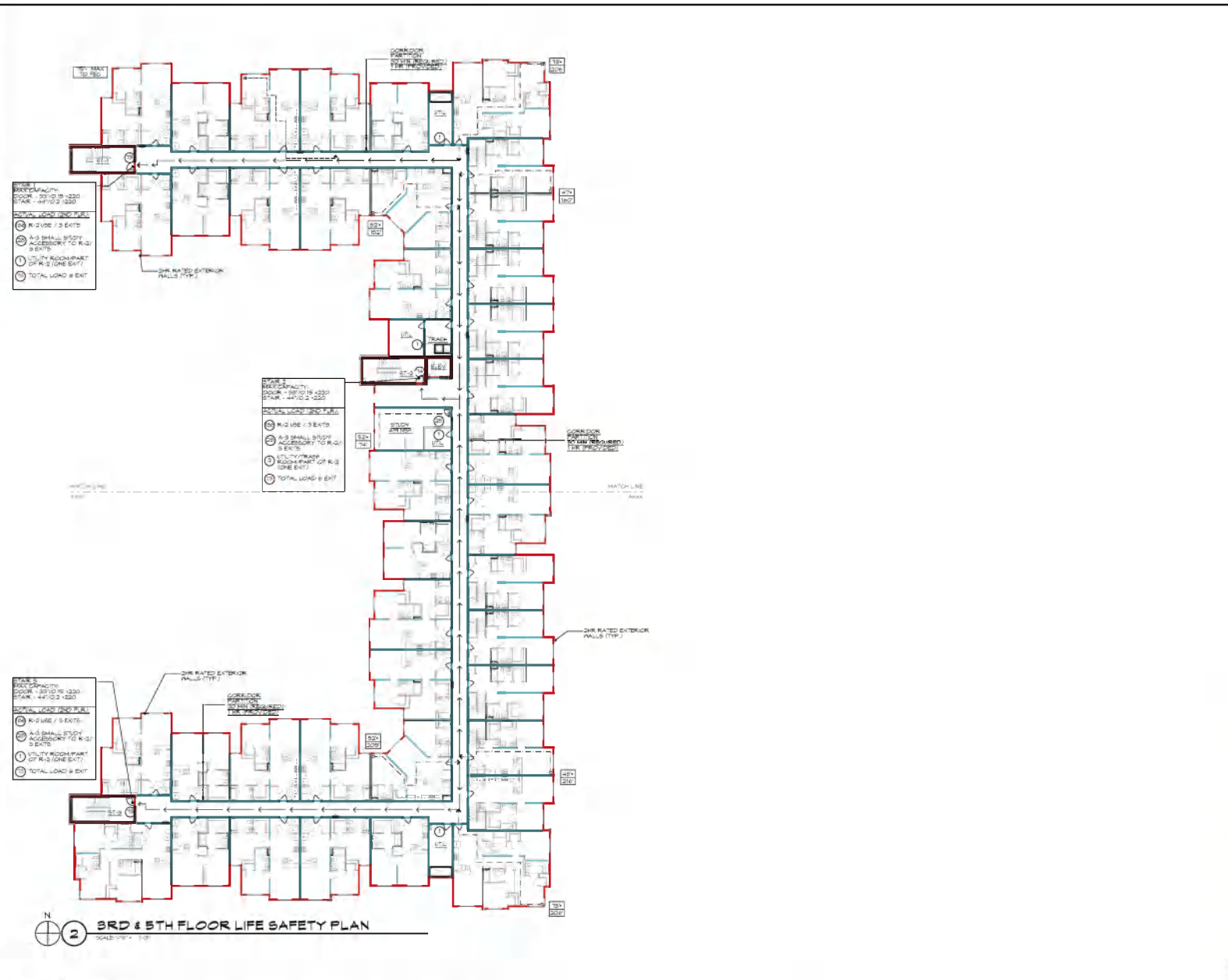
Rev No	Name	Date

442  
AHP Bloomington - Building 2  
4703 West Grouley Pike  
Bloomington, Indiana 47404

MAJOR SITE PLAN FILING- 08/30/21

CS-4  
LIFE SAFETY PLANS

1:00 PM - 12:00 PM - 1:00 PM - 2:00 PM - 3:00 PM - 4:00 PM - 5:00 PM - 6:00 PM - 7:00 PM - 8:00 PM - 9:00 PM - 10:00 PM - 11:00 PM - 12:00 AM - 1:00 AM - 2:00 AM - 3:00 AM - 4:00 AM - 5:00 AM - 6:00 AM - 7:00 AM - 8:00 AM - 9:00 AM - 10:00 AM - 11:00 AM - 12:00 PM



### LIFE SAFETY LEGEND

- 1 HOUR RATED FIRE PARTITION
- 2 HOUR RATED FIRE PARTITION
- 1 HOUR RATED FIRE BARRIER
- 2 HOUR RATED FIRE BARRIER
- COMMON PATH OF EGRESS TRAVEL
- EXIT ACCESS TRAVEL DISTANCE
- POINT AT WHICH 2 EXITS BECOME AVAILABLE
- LENGTH OF COMMON PATH OF EGRESS TRAVEL DISTANCE TO MAX (A) IN NFPA 101  
150' MAX (B) IN NFPA 101  
150' MAX (C) IN NFPA 101
- TOTAL LENGTH OF EXIT ACCESS TRAVEL DISTANCE (IN RED) INCLUDING COMMON PATH OF EGRESS TRAVEL DISTANCE TO MAX (A) IN NFPA 101  
200' MAX (B) IN NFPA 101  
200' MAX (A) IN NFPA 101  
200' MAX (C) IN NFPA 101
- TOTAL LENGTH OF EXIT ACCESS TRAVEL DISTANCE WITH ONE MEANS OF EGRESS AVAIL. TO MAX TRAVEL DISTANCE TO EXIT
- OCCUPANT LOAD AT EXIT
- WALL MOUNTED FIRE EXTINGUISHER ON HEAVY DUTY MOUNTING BRACKET
- WALL MOUNTED FIRE EXTINGUISHER IN 10' HORIZONTAL REAR PROJECTION (MAXIMUM PROJECTION) SPACED 75'-0" MAX APART
- EXIT SIGN
- EMERGENCY LIGHTING BATTERY UNIT

**NOTE: ORIGINAL DRAWING PRODUCED, AND BEST VIEWED AND PRINTED, IN COLOR.**

NO.	DESCRIPTION	DATE	BY	CHECKED
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### LIFE SAFETY PLAN NOTES

1. ALL EXITS SHALL BE MARKED WITH EXIT SIGNS AS SHOWN ON THIS PLAN.
2. ALL EXITS SHALL BE MARKED WITH EXIT SIGNS AS SHOWN ON THIS PLAN.
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Andrew Blumler  
 LIC #212100000

Date: 08-30-2017  
 Job #: 201628  
 Drawn: TBAW  
 Rev: ASD  
 Rev No. Name Date  
 0000 BLDG 2 COMP

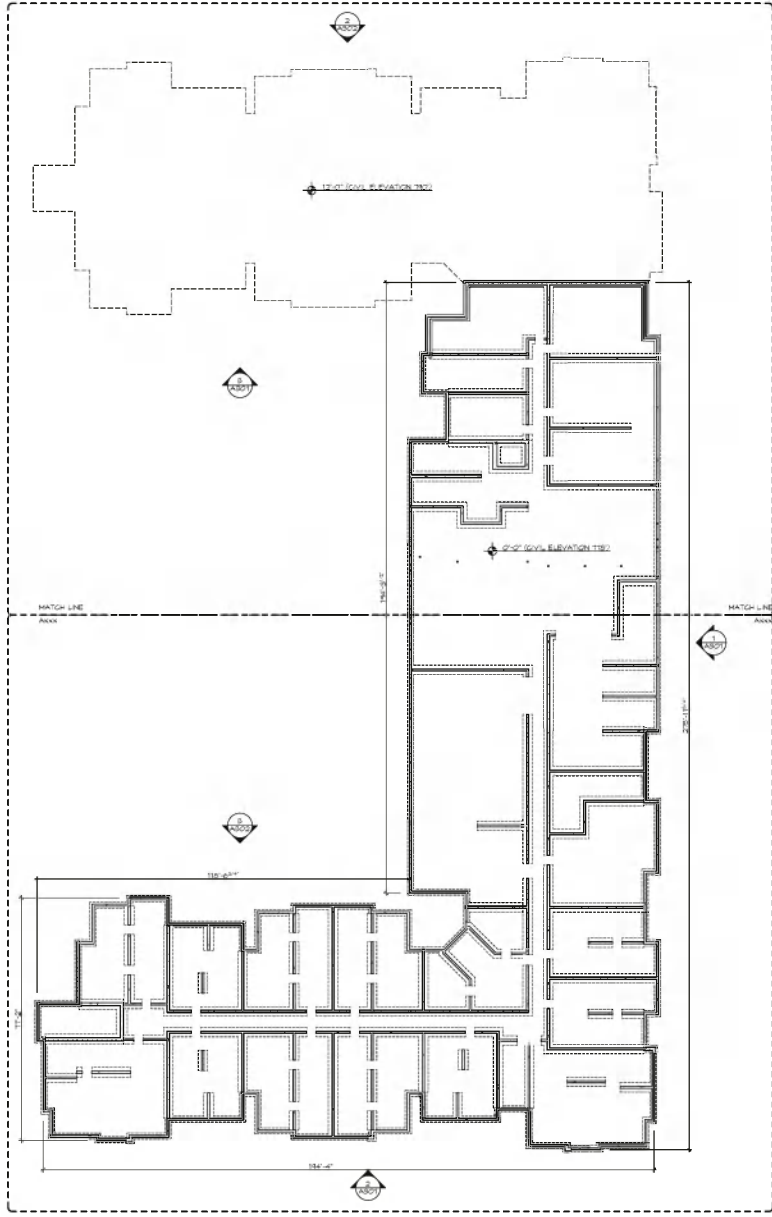
MAJOR SITE PLAN FILING - 08/30/17

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 2703 West Courtey Pike  
 Bloomington, Indiana 47404

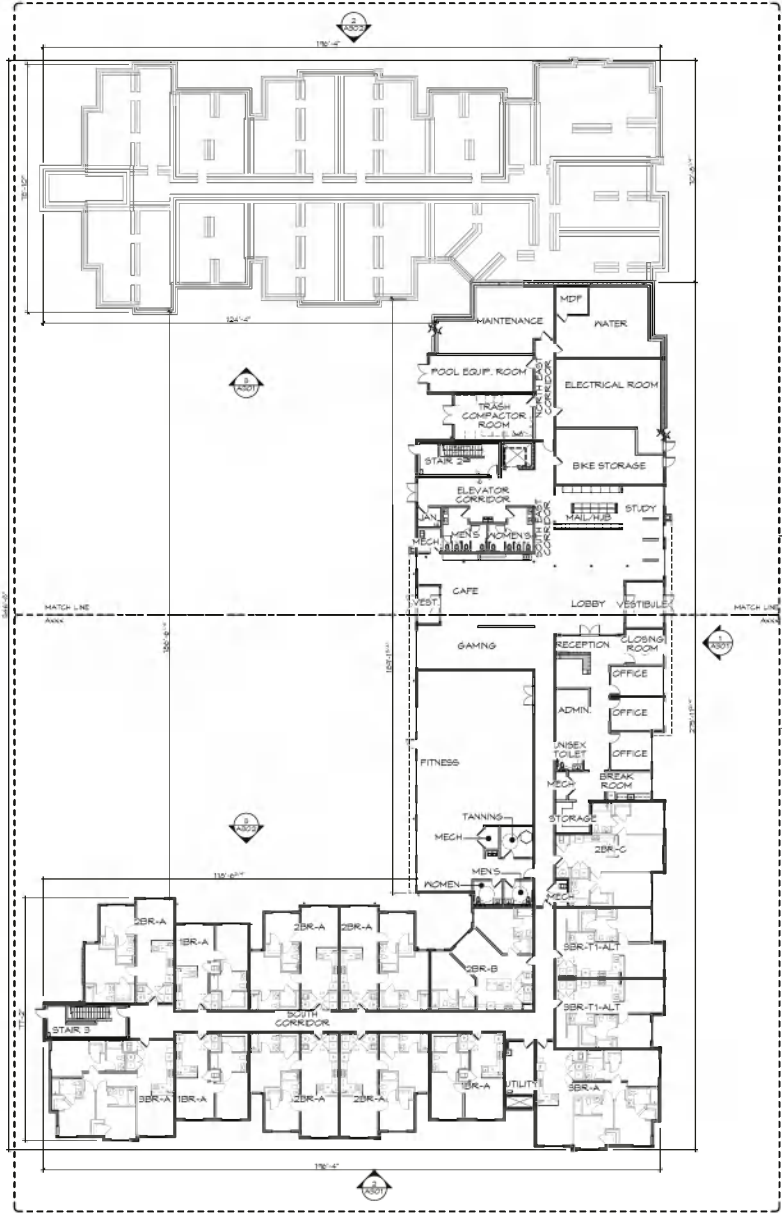
**CS-5**  
 LIFE SAFETY PLANS

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1 FOUNDATION PLAN  
 SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

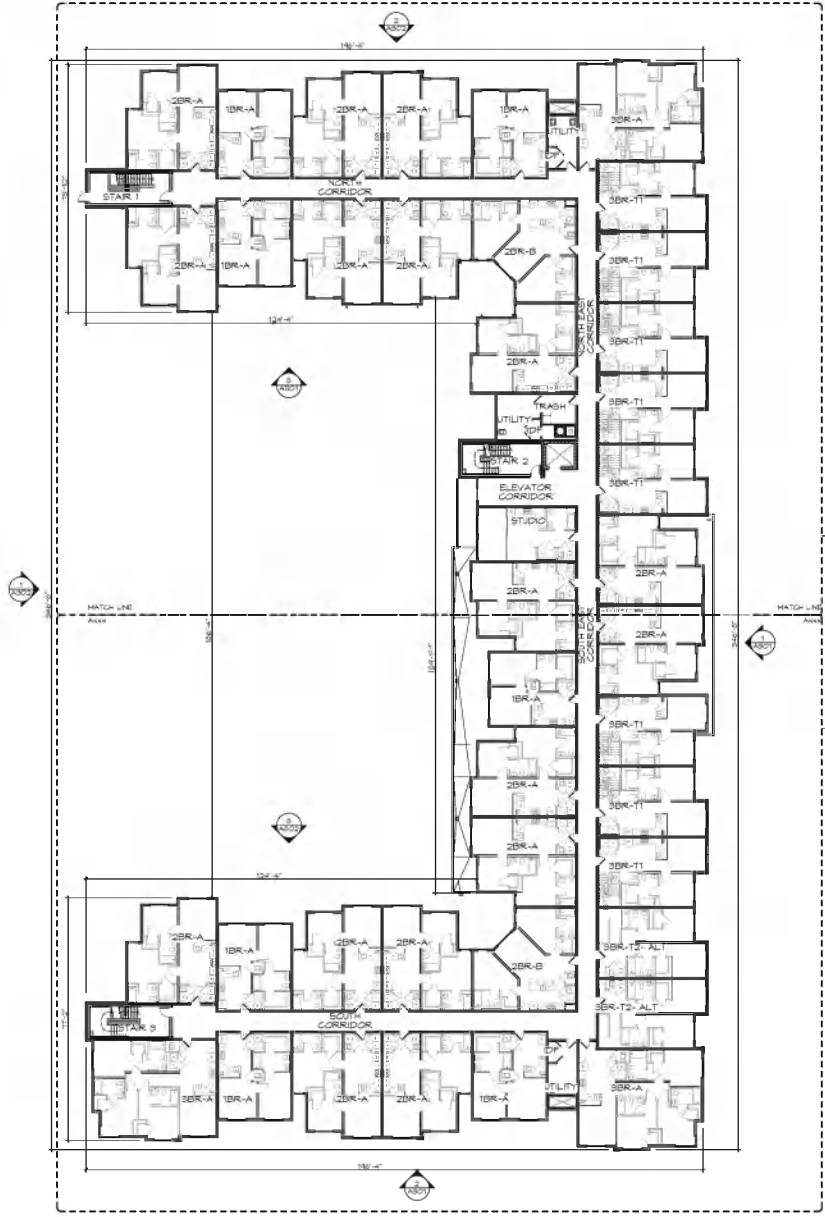


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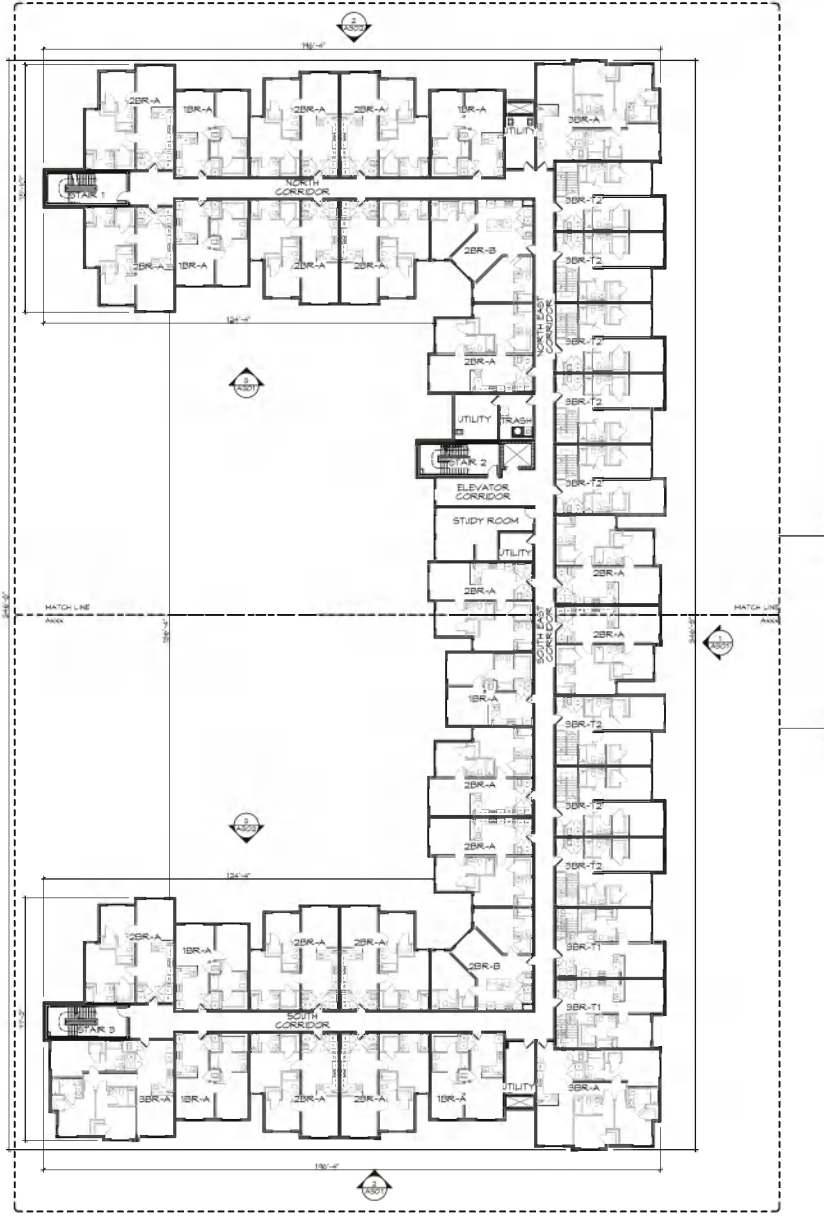
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A101 - 3rd Floor - 2023-08-01.dwg, 2023-08-01 10:00 AM, User: jason.kitchen

**1** SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**2** THIRD FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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Date: 08-30-2023  
Job #: 20428  
Drawn: TSBAD  
Ment: ASB

Rev. No.	Name	Date

2023 - BLDG-2 COMP

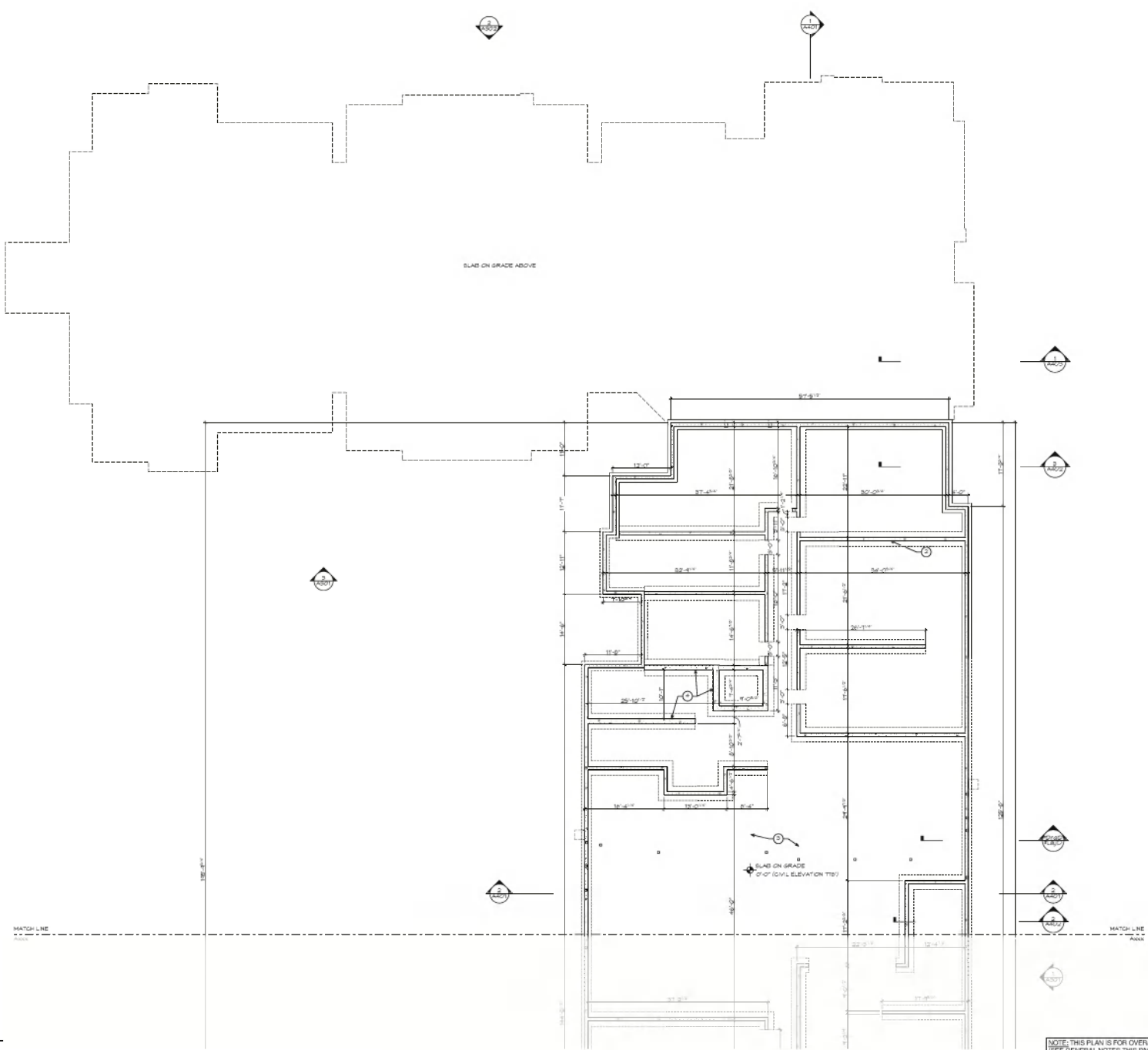
**MAJOR SITE PLAN FILING: 08/30/23**  
**AHP Bloomington - Building 2**  
703 West Courtey Pike  
Bloomington, Indiana 47404

**A101**  
OVERALL SECOND &  
THIRD FLOOR  
PLANS





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 User: jason.k...  
 Date: 2024-08-30 10:51:51 AM



**FOUNDATION**  
 SCALE: 1/4" = 1'-0"

NOTE: THIS PLAN IS FOR OVERALL DIMENSION REFERENCE ONLY.  
 SEE GENERAL NOTES THIS PAGE. REFER TO STRUCTURAL  
 FOUNDATION PLAN FOR FOOTING / FOUNDATION SIZES AND SPECS.

MAJOR SITE PLAN FILING- 08/30/21

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 Bloomington, Indiana 47404

A104  
 PARTIAL  
 FOUNDATION PLAN

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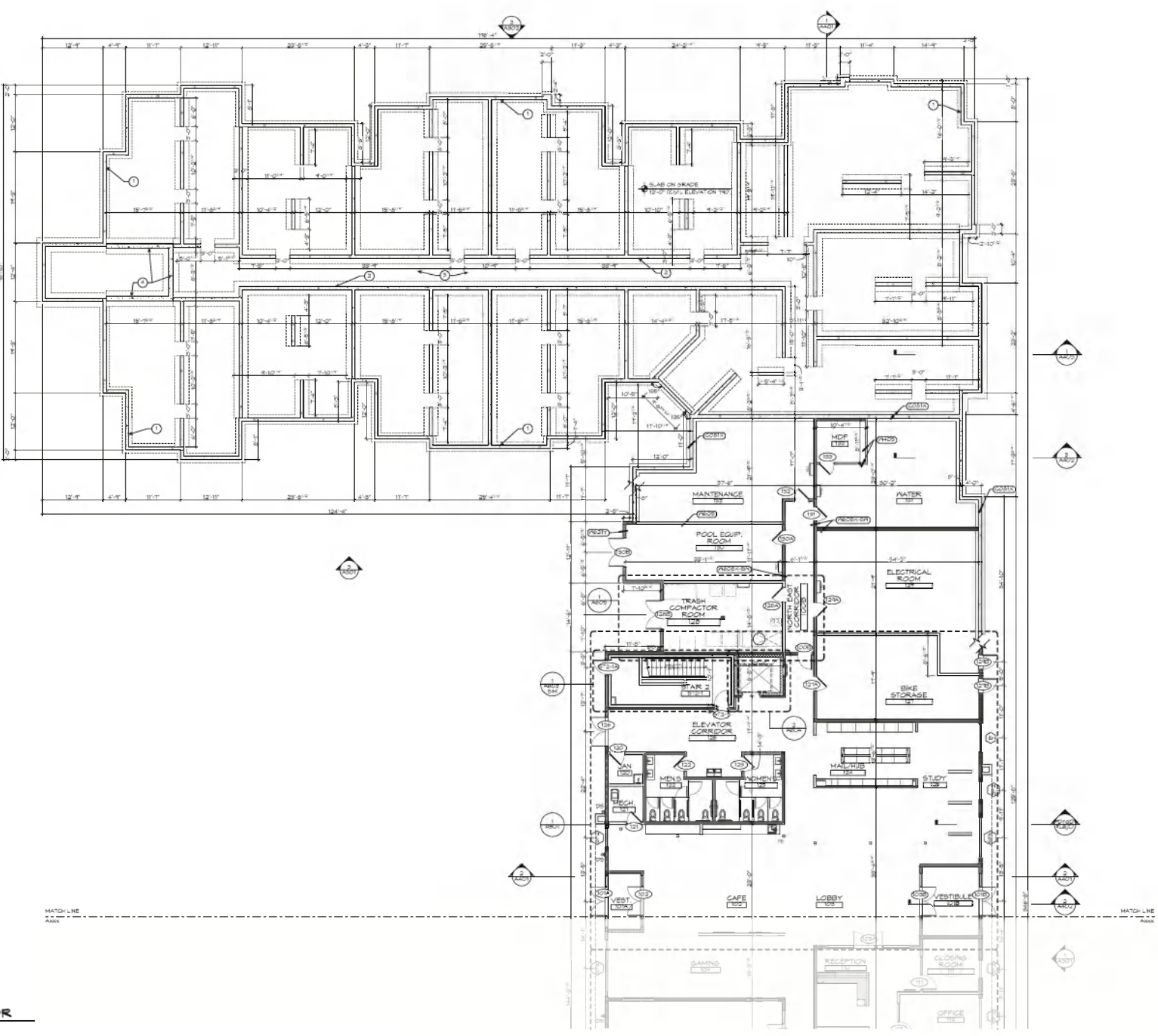
Matthew J. Blunier  
 LIC # 211700081

Date:	08-30-2021		
Job #:	202028		
Drawn:	TBR/AD		
Check:	ADG		
Rev	No.	Name	Date
0000	BLDG-2 COMP		





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**FIRST FLOOR**  
 SCALE: 1/8" = 1'-0"

MAJOR SITE PLAN FILING - 08/30/21  
 AHP Bloomington - Building 2

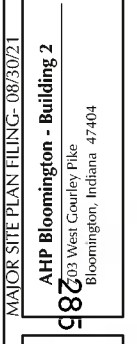
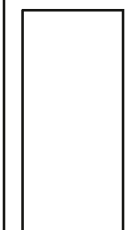
987  
 703 West Courley Pike  
 Bloomington, Indiana 47404

A106  
 PARTIAL FIRST FLOOR PLAN

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Date:	08-30-2013
Job #:	201018
Client:	TERRA
Drawn:	ASB
Rev. No.:	1
Rev. Name:	
Rev. Date:	

DRAWN: BLDG-2 CORR





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1 SECOND FLOOR

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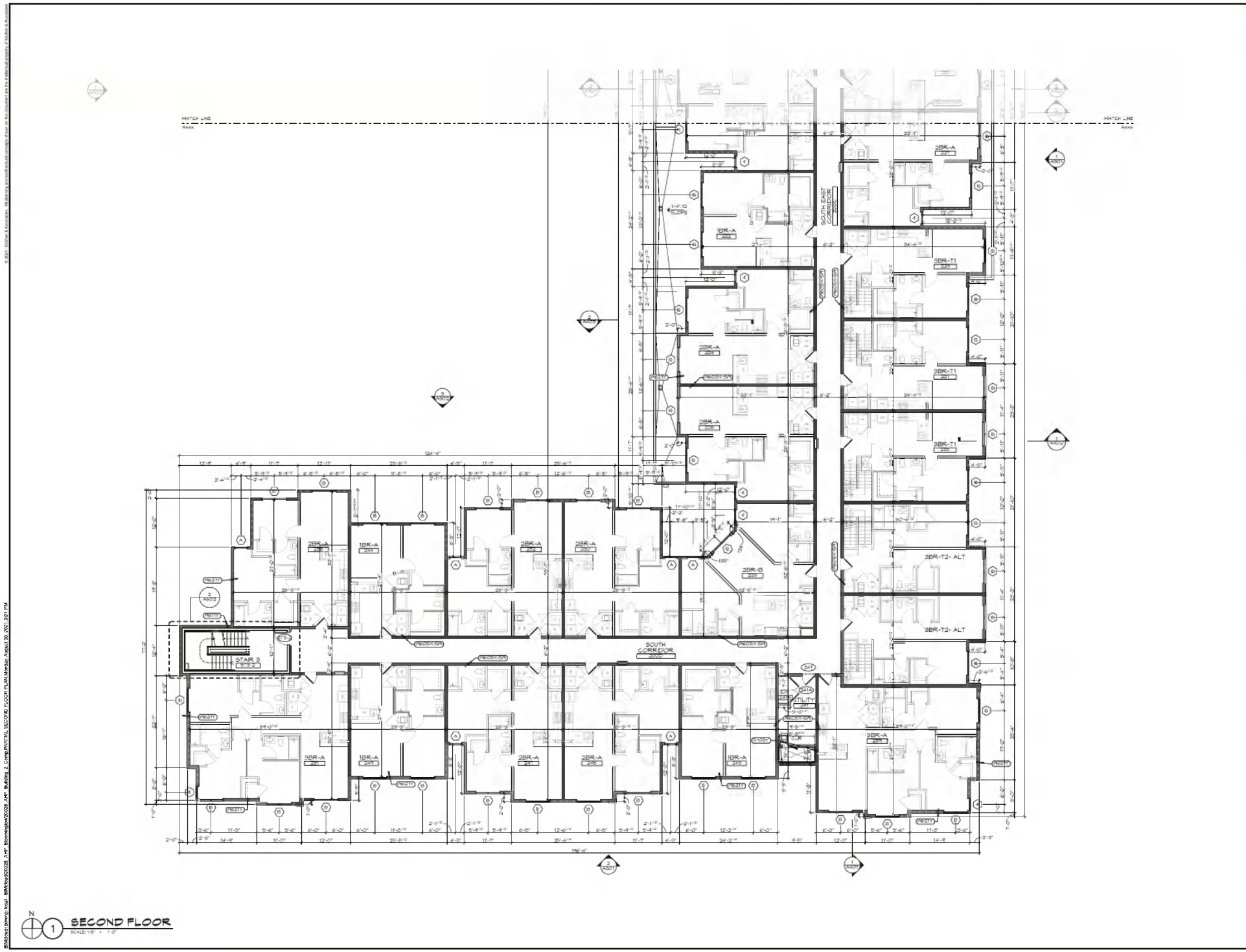
10 South Indiana  
 Columbus, IN 47201  
 317 667 1800  
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Date:	08/30/2007	
Job #:	200408	
Client:	TEBAY	
Project:	AHP	
Rev No.	Name	Date

DOWN BLDG-2 CORR

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 703 West Courtey Pike  
 Bloomington, Indiana 47404

A108  
 PARTIAL SECOND FLOOR PLAN



N  
1  
SECOND FLOOR  
SCALE: 1/8" = 1'-0"

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Revision Table:

Rev. No.	Date	By	App'd
01	09-30-2011	JG	TD
02			
03			
04			
05			

Drawn: JG  
Checked: TD  
Title: BLDG-2 COMP

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AHP  
AHP Bloomington - Building 2  
387 303 West Courtey Pike  
Bloomington, Indiana 47404

A109  
PARTIAL SECOND FLOOR PLAN

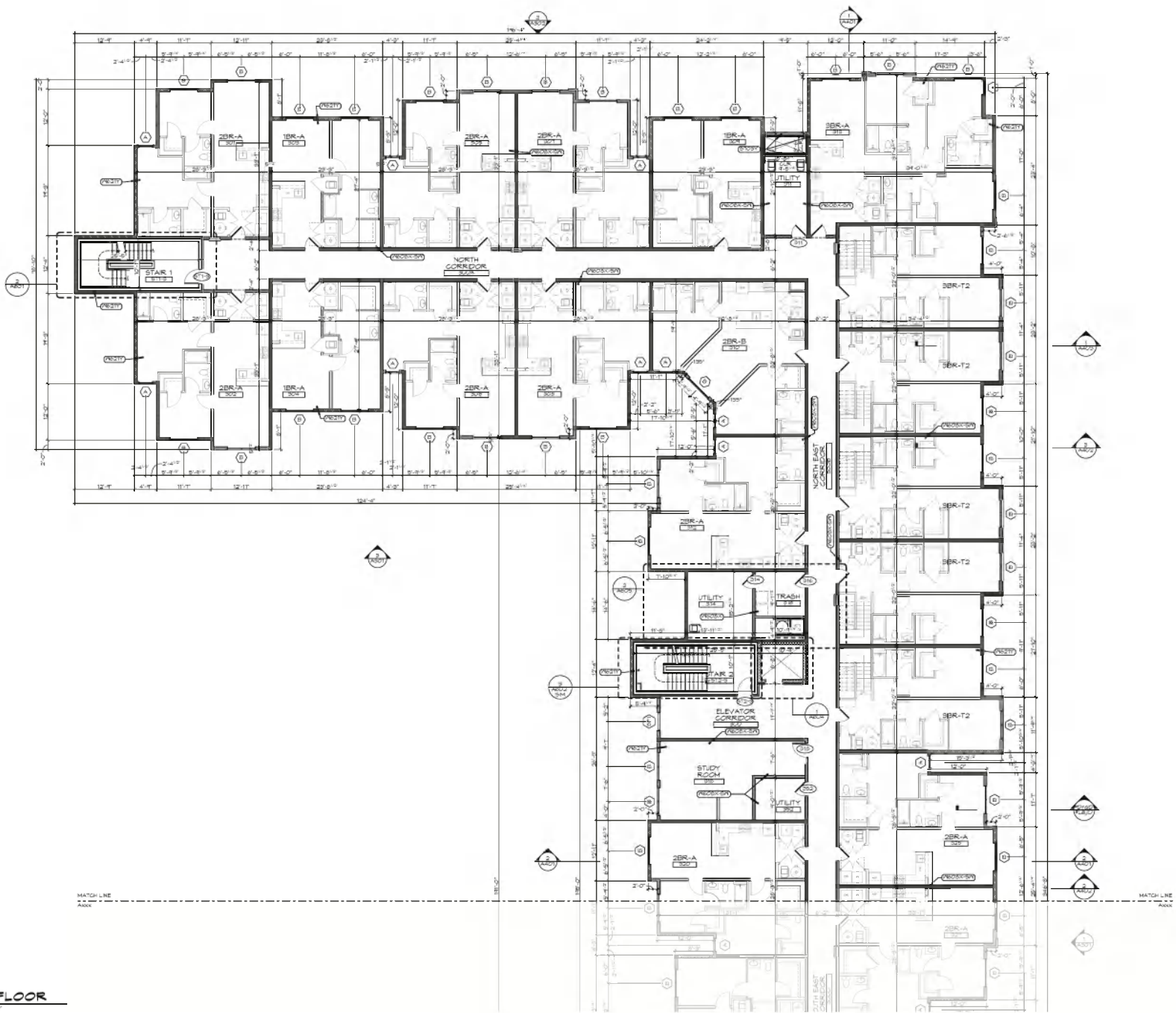
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DATE: 08-30-2013  
 JOB #: 201408  
 DRAWN: TSWAN  
 CHECKED: ASB  
 REV NO. NAME DATE


DOWN BLDG-2 COMP



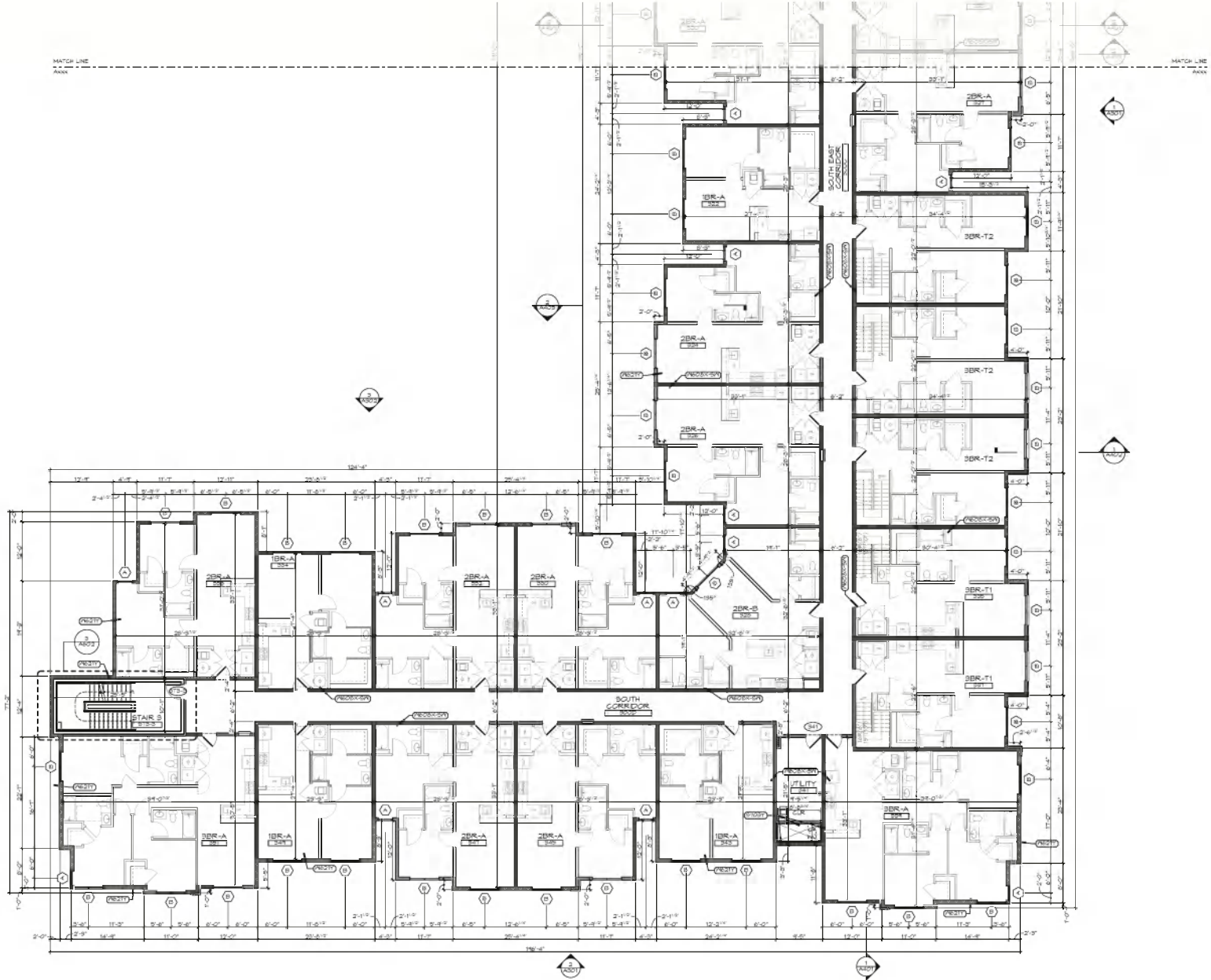
MAJOR SITE PLAN FILING- 08/30/13  
**AHP Bloomington - Building 2**  
 703 West Courtey Pike  
 Bloomington, Indiana 47404



**1**  
 THIRD FLOOR  
 SCALE: 1/8" = 1'-0"

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 **1** **THIRD FLOOR**  
SCALE: 1/4" = 1'-0"



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Matthew J. Sommer  
LIC#251010055

Date	08/30/2023	
Job #	202408	
Drawn	TSB/AM	
Check	ASB	
Rev. No.	Name	Date

**A111**  
PARTIAL THIRD  
FLOOR PLAN

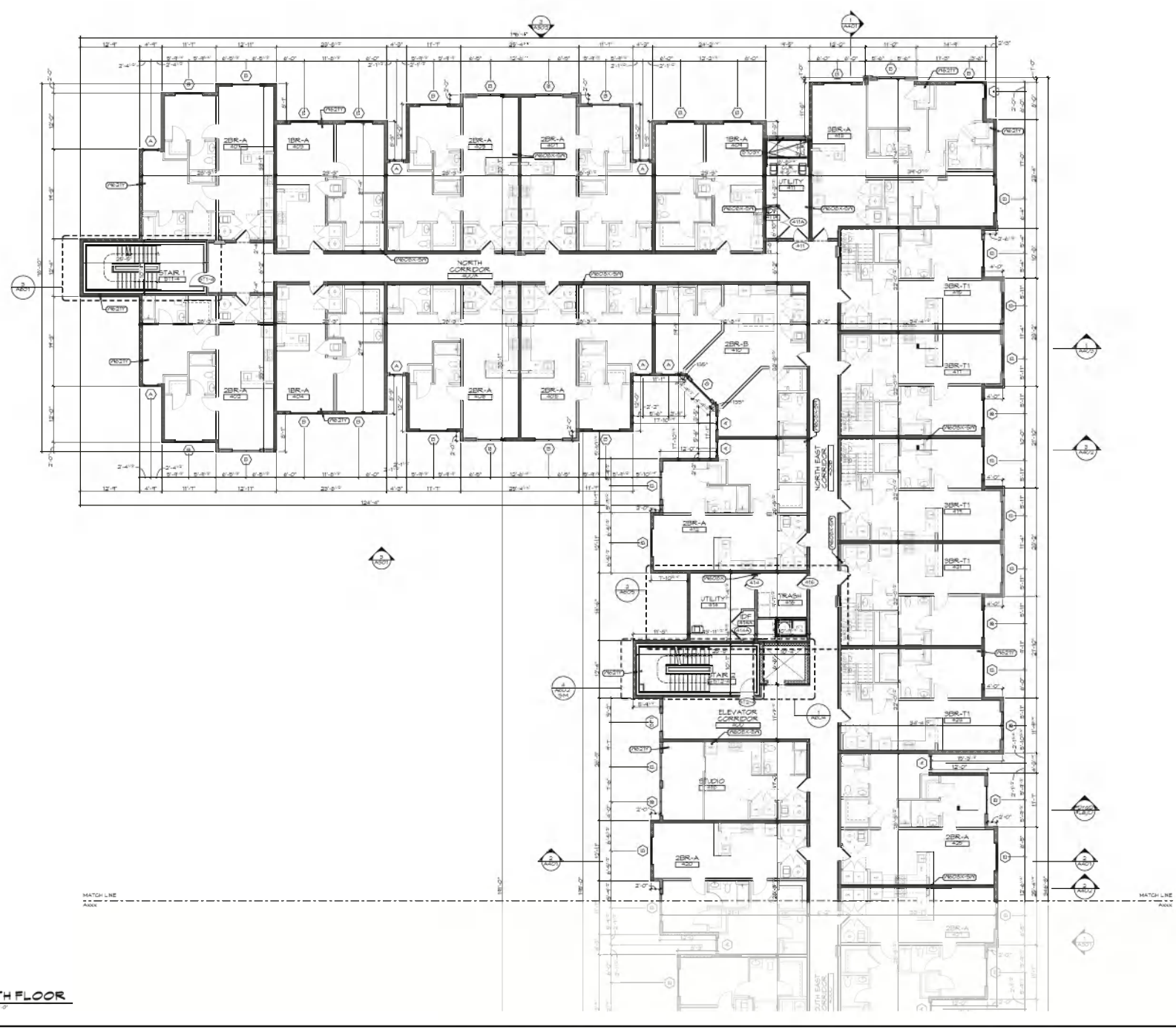
MAJOR SITE PLAN FILING: 08/30/21

AHP Bloomington - Building 2

62 003 West Courtey Pike

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**FOURTH FLOOR**  
 SCALE: 1/8" = 1'-0"

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167  
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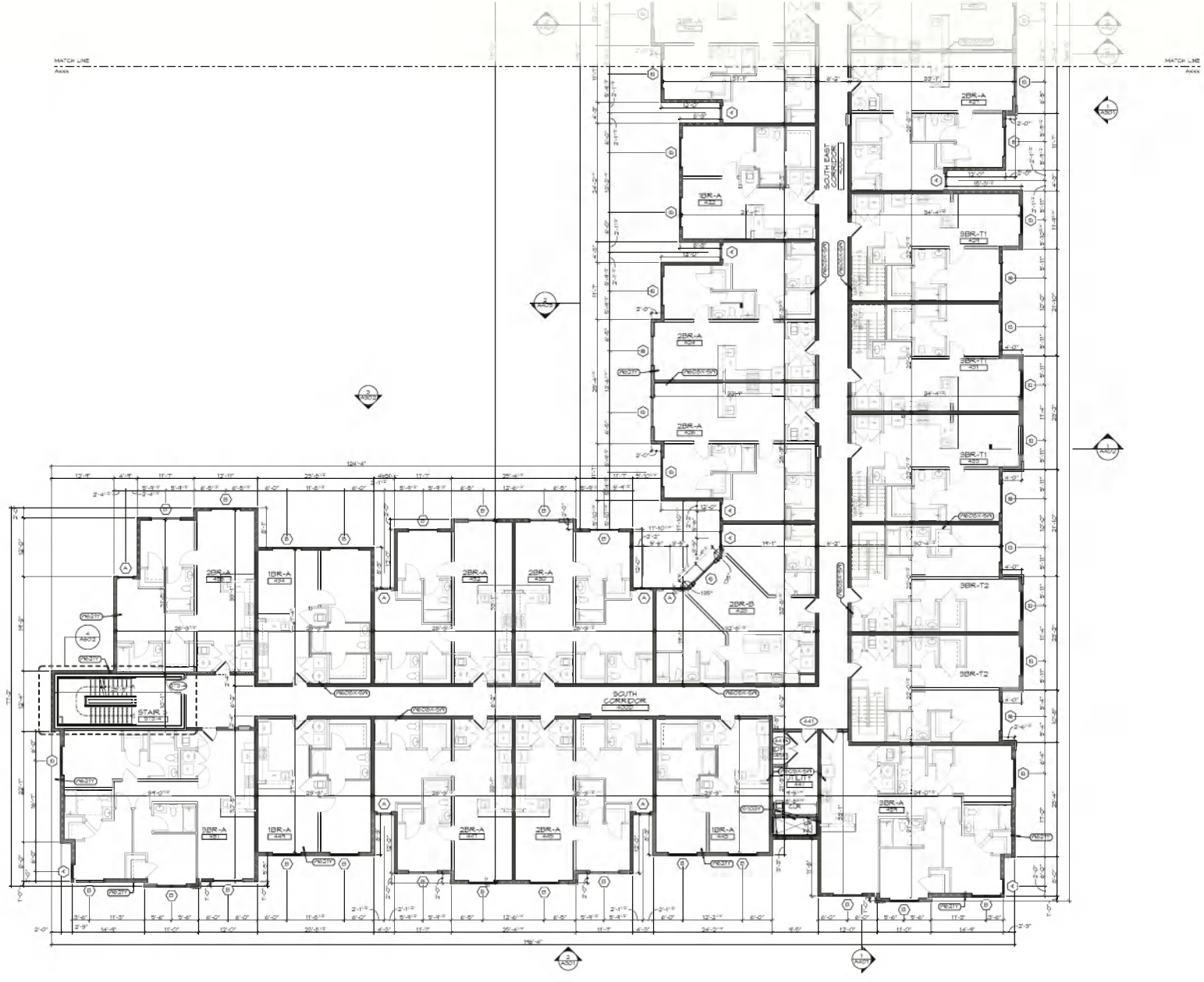
MAJOR SITE PLAN FILING- 08/30/21

A112  
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Date:	08-30-2011
Job #:	201018
Drawn:	TESAW
Check:	ASB
Rev. No.	
Name	
Date	

167  
 A112  
 PARTIAL FOURTH FLOOR PLAN

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MATCH LINE  
A11  
A11

MATCH LINE  
A11  
A11

1  
**FOURTH FLOOR**  
 SCALE: 1/8" = 1'-0"

MAJOR SITE PLAN FILING- 08/30/21

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 703 West Courtey Pike  
 Bloomington, Indiana 47404

A113  
 PARTIAL FOURTH FLOOR PLAN

Date: 08-30-2011  
 Job #: 20438  
 Drawn: TSBAB  
 Mgr: ASB

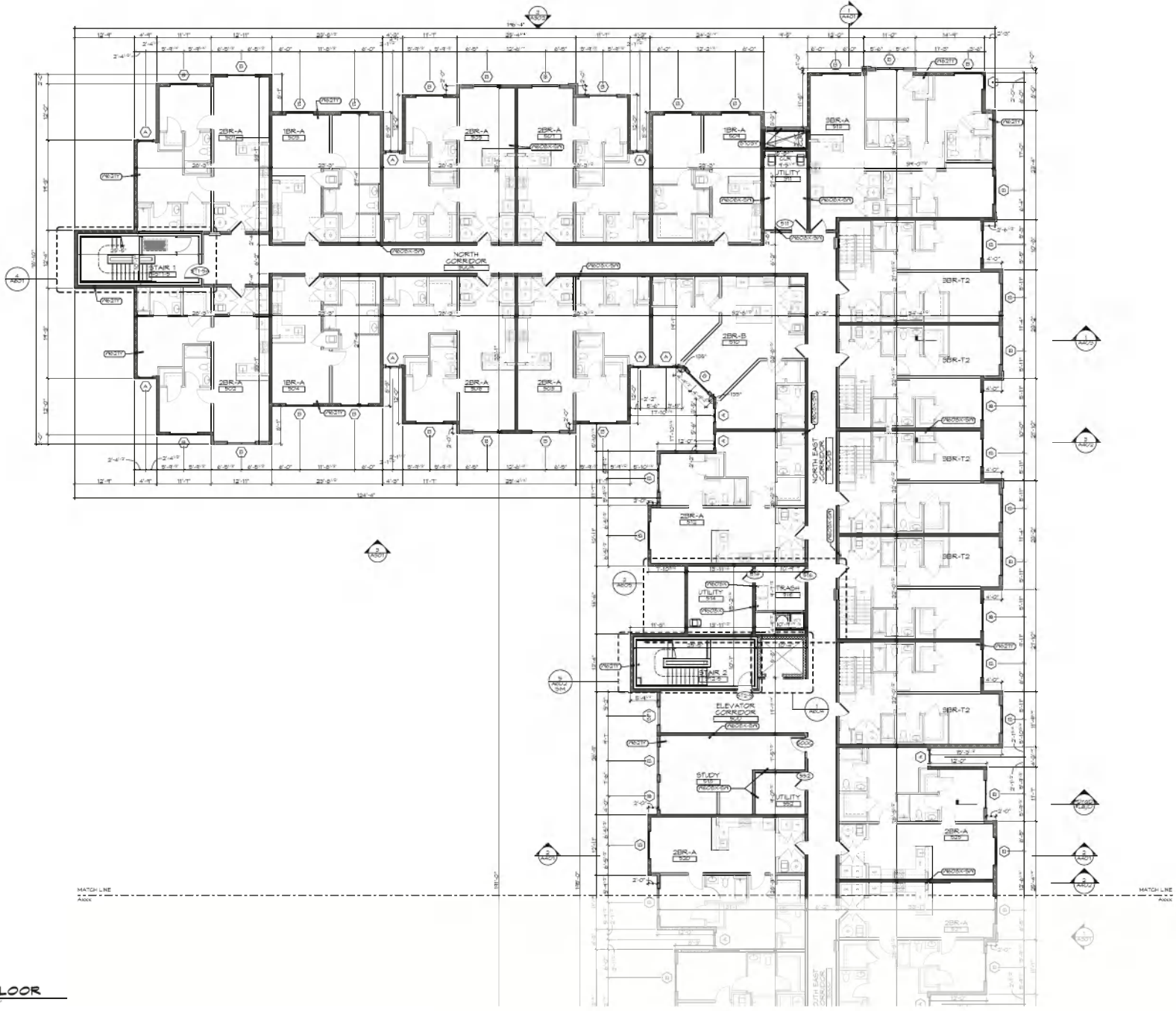
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**FIFTH FLOOR**  
 SCALE: 1/8" = 1'-0"

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Date:	08/30/2007	
Job #:	200428	
Drawn:	TEB/MS	
Check:	AKS	
Rev. No.	Name	Date



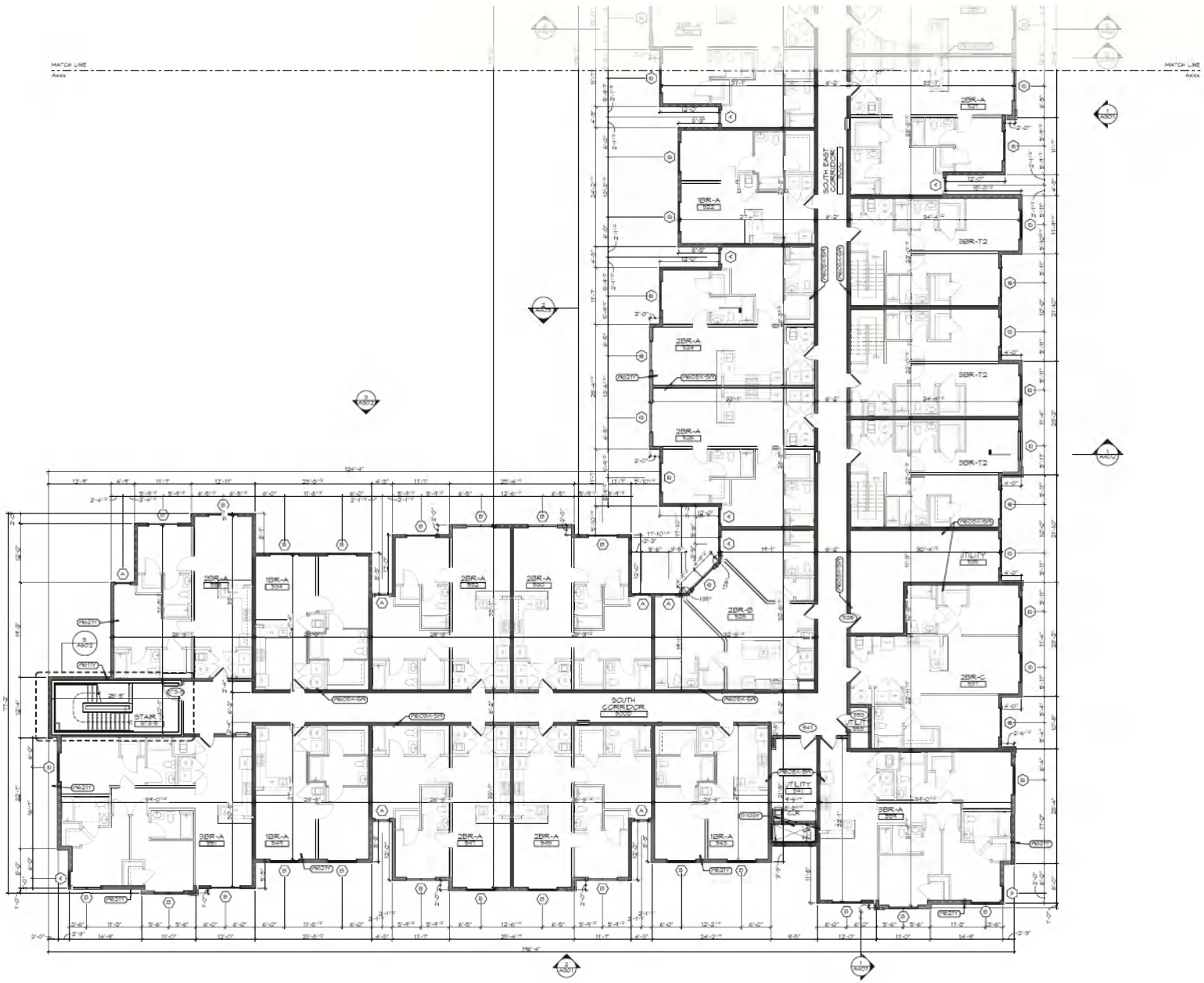
MAJOR SITE PLAN FILING- 08/30/21  
**AHP Bloomington - Building 2**  
 703 West Courtey Pike  
 Bloomington, Indiana 47404

A114  
 PARTIAL FIFTH FLOOR PLAN

Blomquist, Sara; Title: BLM150452028; Job: Building 2 Comp.PARTIAL FIFTH FLOOR PLAN; User: BLM150452028; August 28, 2021 2:52 PM

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**FIFTH FLOOR**
  
 SCALE: 1/8" = 1'-0"



**Kitchen & Associates**  
 Architecture  
 Engineering  
 Planning  
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100 South Indiana  
 Bloomington, IN 47403  
 Tel: 317.346.1990  
 www.kitchenandassociates.com

Name: A. Sanner  
 Lic: 261210005

Date:	08/30/2021
Job #:	204308
Drawn:	TSB/AM
Month:	ASB
Rev. No.:	
Name:	
Date:	

BUILDING COMP

MAJOR SITE PLAN FILING- 08/30/21  
**AHP Bloomington - Building 2**  
 46203 West Courley Pike  
 Bloomington, Indiana 47404

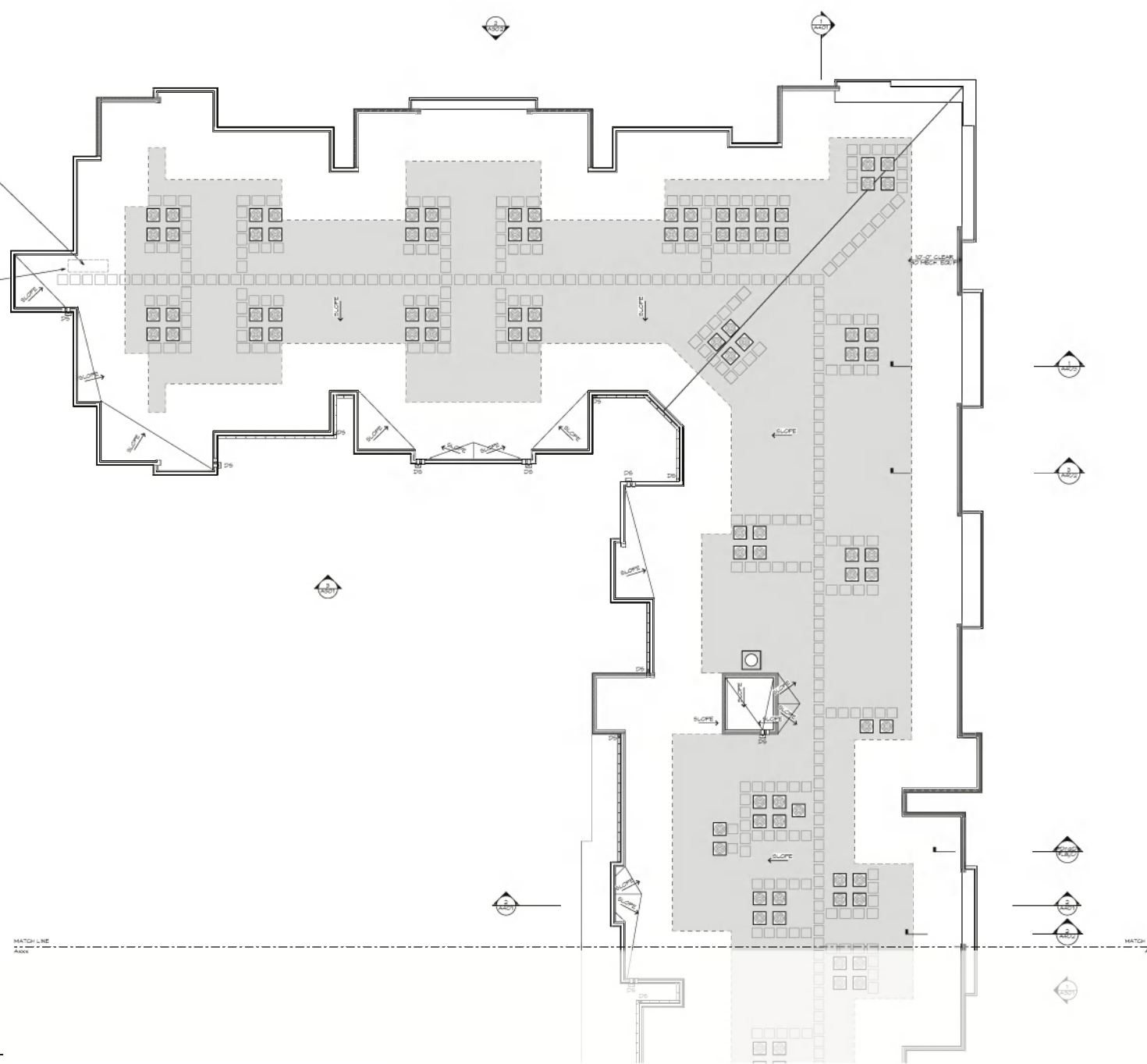
**A115**  
 PARTIAL FIFTH FLOOR PLAN

\\blm\arch\working\1066 - 1850000066000 - AHP - Building 2 - Comp NORTH - ROOF PLAN (Working).dwg 08/28/21 10:58 AM

08/28/21 10:58 AM - 10/28/21 10:58 AM - 10/28/21 10:58 AM - 10/28/21 10:58 AM - 10/28/21 10:58 AM - 10/28/21 10:58 AM

30" X 40" THERMALLY  
 BROKEN ROOF  
 ACCESS HATCH - SEE  
 SPECIFICATIONS FOR  
 DETAILS. (BASED ON  
 DESIGN: SLOPE 1:10  
 TO ENHANCED  
 PERFORMANCE WITH  
 24-GAUGE GALVALU  
 SYSTEM OPEN HATCH  
 IS LOCATED 5 FT TO  
 7 FT OF ROOF EDGE.)

1/2" RAILING AROUND  
 ROOF ACCESS HATCH



N  
 1  
**ROOF**  
 SCALE: 1/8" = 1'-0"

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 Interiors

730 South River  
 Columbus, IN 47308  
 317.533.1988  
 www.kitchenandassociates.com

Matthew J. Blinn  
 LIC 473120008

Date: 08/30/21  
 Job #: 2020B  
 Drawn: TSBAR  
 Mgr: AJB

Rev. No.	Name	Date

0000 - BLDG-2 - COMP

MAJOR SITE PLAN FILING - 08/30/21

**AHP Bloomington - Building 2**

667 03 West Courley Pike  
 Bloomington, Indiana 47404

A116

PARTIAL ROOF PLAN

R:\Projects\2024\AHP - Building 2\Comp\AHP\Roof\_Plan\Major\_Archip\_08\_30\_21.rvt  
 08/30/21 10:56 AM

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 08/30/21 10:56 AM

**ROOF**  
 SCALE: 1/8" = 1'-0"



Matthew A. Blunier  
 LIC #02328690

Date:	08/30/2021	
Job #:	202028	
Drawn:	TBRAM	
By:	AKB	
Rev. No.	Name	Date

A117





Date:	08/30/2011	
Job #:	201018	
Drawn:	TEBARI	
Rev:	ADD	
Rev. No.	Name	Date

0000\_BLDG-2\_COMP

MAJOR SITE PLAN FILING - 08/30/11  
**AHP Bloomington - Building 2**  
 10003 West Courley Pike  
 Bloomington, Indiana 47404

**A304**  
 EXTERIOR  
 ELEVATIONS  
 NORTH



1 **NORTH ELEVATION**  
 SCALE 1/8" = 1'-0"



2 **NORTH ELEVATION**  
 SCALE 5/16" = 1'-0"

Project: 10003 West Courley Pike - Building 2 - Comp - EXTERIOR ELEVATIONS (WP) TEBARI, 08/30/11 - 10/30/11 - 10/30/11 - 10/30/11  
 Job #: 201018  
 Job Name: AHP - Bloomington - Building 2  
 Drawing Title: EXTERIOR ELEVATIONS (WP) TEBARI, 08/30/11 - 10/30/11 - 10/30/11 - 10/30/11  
 Drawing Scale: 1/8" = 1'-0", 5/16" = 1'-0"  
 Author: TEBARI  
 Date: 10/30/11  
 Project Path: \\server\projects\10003 West Courley Pike - Building 2 - Comp - EXTERIOR ELEVATIONS (WP) TEBARI, 08/30/11 - 10/30/11 - 10/30/11 - 10/30/11  
 Drawing Path: \\server\projects\10003 West Courley Pike - Building 2 - Comp - EXTERIOR ELEVATIONS (WP) TEBARI, 08/30/11 - 10/30/11 - 10/30/11 - 10/30/11\10003\_BLDG-2\_COMP-02.dwg  
 Plot Path: \\server\projects\10003 West Courley Pike - Building 2 - Comp - EXTERIOR ELEVATIONS (WP) TEBARI, 08/30/11 - 10/30/11 - 10/30/11 - 10/30/11\10003\_BLDG-2\_COMP-02.dwg

**ELEVATION NOTES**

**DIVISION 1 - CONCRETE**  
 11 PARTIAL EXTERIOR CONCRETE FINISH  
 12 INSULATED MASONRY CONCRETE FINISH

**DIVISION 2 - MASONRY**  
 11 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE  
 12 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE

**DIVISION 3 - METALS**  
 11 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE  
 12 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE

**DIVISION 4 - GLASS**  
 11 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE  
 12 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE

**DIVISION 5 - DOORS AND WINDOWS**  
 11 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE  
 12 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE

**ELEVATION KEYNOTES**

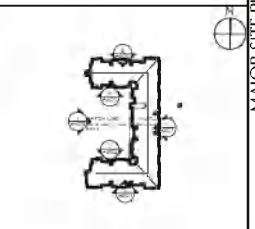
10 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE  
 11 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE  
 12 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE

**DIVISION 11 - SPECIALTIES**  
 11 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE  
 12 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE

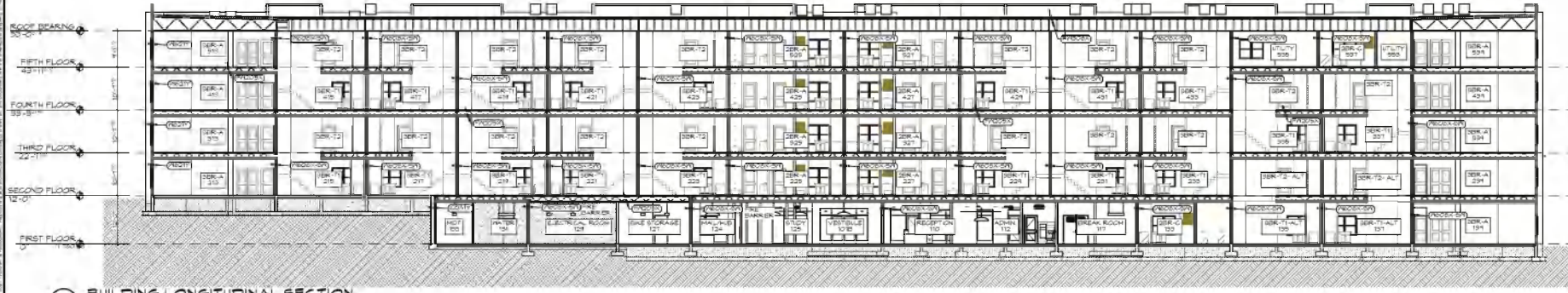
**DIVISION 12 - FINISHES**  
 11 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE  
 12 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE

**DIVISION 13 - PAINTS AND COATINGS**  
 11 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE  
 12 1/2" SPARSE SIDE BRICK WITH LIGHT BROWN GLAZED CERAMIC TILE ON EXTERIOR SURFACE

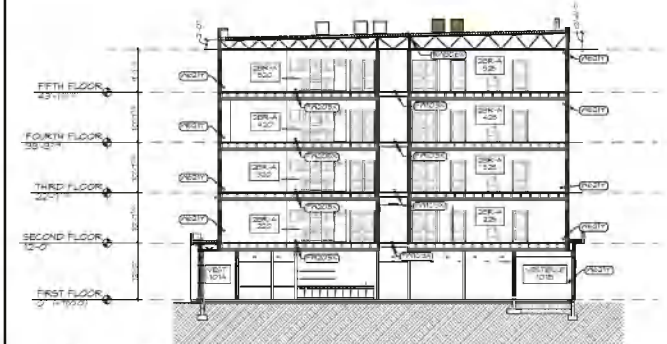
**KEY PLAN**



A401 - BUILDING SECTIONS - Major Site Plan Filing - 08/30/21



1 BUILDING LONGITUDINAL SECTION  
SCALE: 1/8" = 1'-0"



2 BUILDING CROSS SECTION  
SCALE: 1/8" = 1'-0"

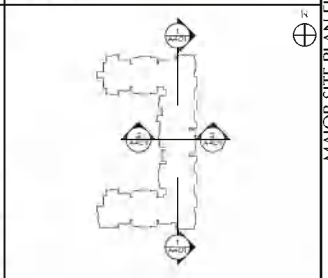
**SECTION NOTES**

1. CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND LOCAL ORDINANCES. CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND LOCAL ORDINANCES.
2. ALL WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
3. ALL ROOFS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
4. ALL FLOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
5. ALL CEILING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
6. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
7. ALL EXTERIOR ROOFS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
8. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
10. ALL EXTERIOR ROOFS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
11. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
12. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
13. ALL EXTERIOR ROOFS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
14. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
15. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
16. ALL EXTERIOR ROOFS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
17. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
18. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
19. ALL EXTERIOR ROOFS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
20. ALL EXTERIOR FLOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.

**FIRESTOPPING/DRAFTSTOPPING NOTES**

1. FIRESTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
2. DRAFTSTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
3. ALL PENETRATIONS THROUGH FLOOR SLABS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
4. ALL PENETRATIONS THROUGH EXTERIOR WALLS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
5. ALL PENETRATIONS THROUGH ROOFS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
6. ALL PENETRATIONS THROUGH EXTERIOR FLOORS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
7. ALL PENETRATIONS THROUGH EXTERIOR WALLS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
8. ALL PENETRATIONS THROUGH ROOFS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
9. ALL PENETRATIONS THROUGH EXTERIOR FLOORS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
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16. ALL PENETRATIONS THROUGH EXTERIOR WALLS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
17. ALL PENETRATIONS THROUGH ROOFS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
18. ALL PENETRATIONS THROUGH EXTERIOR FLOORS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
19. ALL PENETRATIONS THROUGH EXTERIOR WALLS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
20. ALL PENETRATIONS THROUGH ROOFS SHALL BE FIRESTOPPED AND DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.

**KEY PLAN**

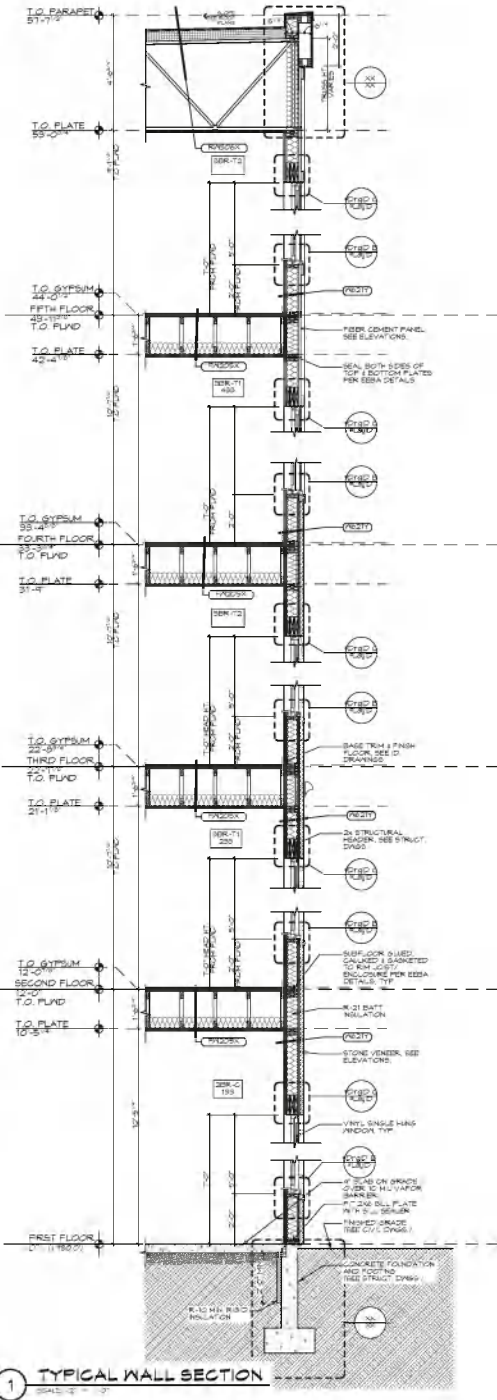


**DRAFTSTOPPING NOTES**

1. DRAFTSTOPPING SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
2. ALL PENETRATIONS THROUGH FLOOR SLABS SHALL BE DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
3. ALL PENETRATIONS THROUGH EXTERIOR WALLS SHALL BE DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
4. ALL PENETRATIONS THROUGH ROOFS SHALL BE DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.
5. ALL PENETRATIONS THROUGH EXTERIOR FLOORS SHALL BE DRAFTSTOPPED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) AND LOCAL ORDINANCES.

Date:	08/30/2021
Job #:	202008
Drawn:	TEBAM
Check:	AKG
Rev. No.:	
Name:	
Date:	
DRAWN: BLDG 2 COMP	

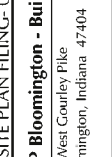
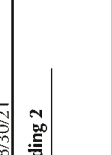




**1** TYPICAL WALL SECTION

Markus J. Sauer LIC#251110056		
----------------------------------	--	--

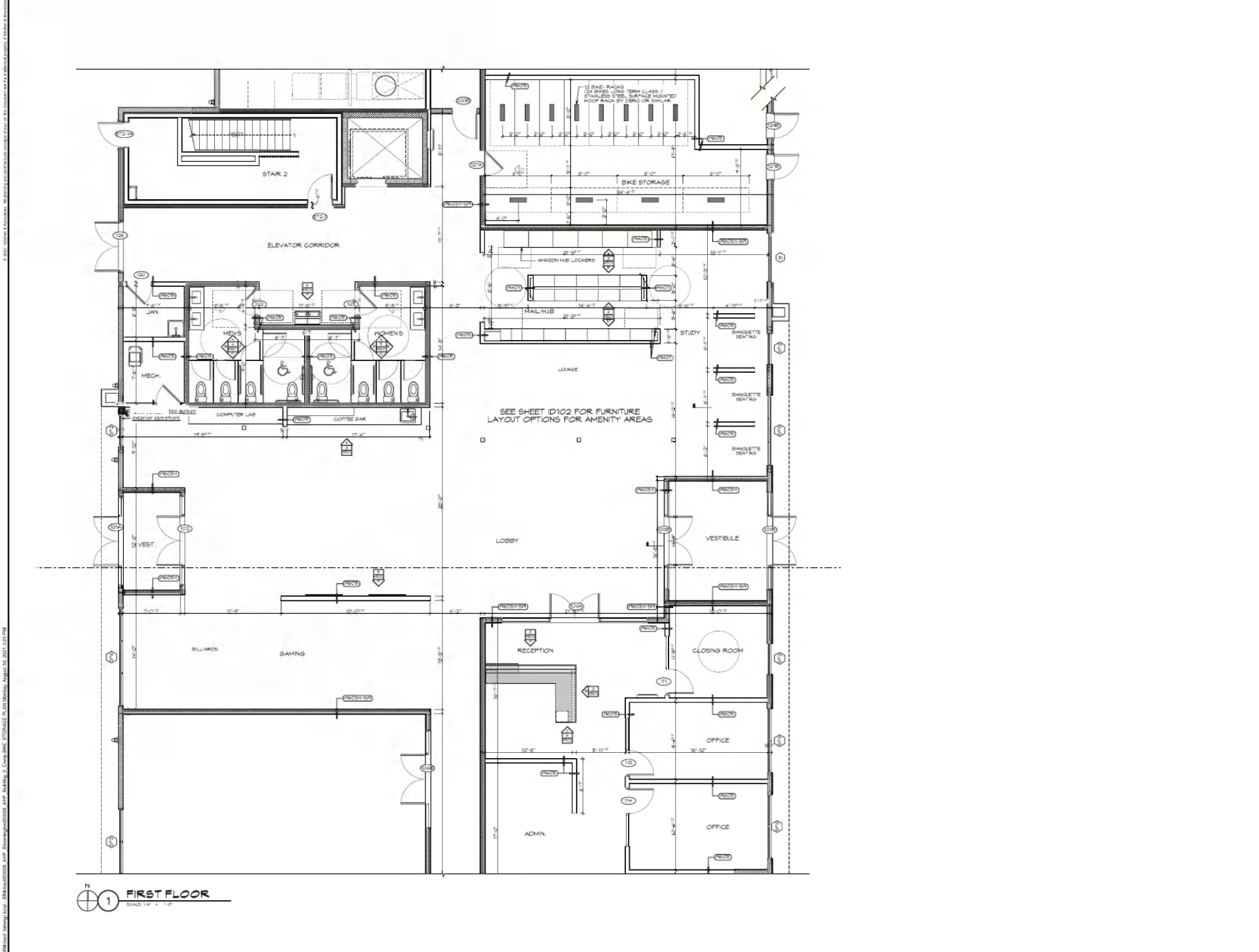
Date:	09-30-2021	
Job #:	2020B	
Drawn:	TEBAR	
Mo:	ASB	
Rev No.	Name	Date



MAJOR SITE PLAN FILING- 08/30/21

**AHP Bloomington - Building 2**  
 703 West Courtey Pike  
 Bloomington, Indiana 47404





① FIRST FLOOR  
SCALE: 1/4" = 1'-0"

Vertical text along the left edge of the page, likely a title or project information.

**Kitchen & Associates**  
Architecture  
Engineering  
Planning  
Interiors

700 South River  
Columbus, IN 47316  
812-863-7600  
info@kitchenandassociates.com

Approved: **Samuel**  
LIC# 26150026

Rev. No.	Name	Date

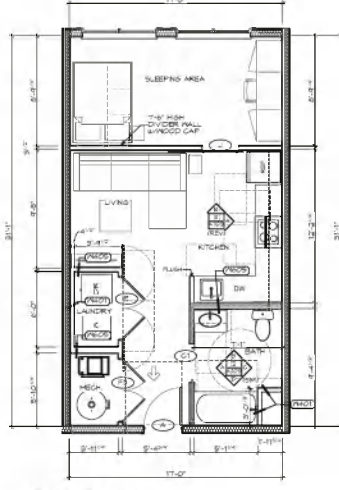
20008 BLDG-2 COMP

MAJOR SITE PLAN FILING - 08/30/21

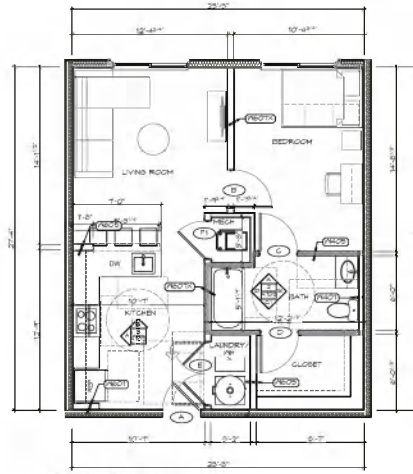
**AHP Bloomington - Building 2**  
703 West Courtey Pike  
Bloomington, Indiana 47404

**A501**  
BIKE STORAGE PLAN

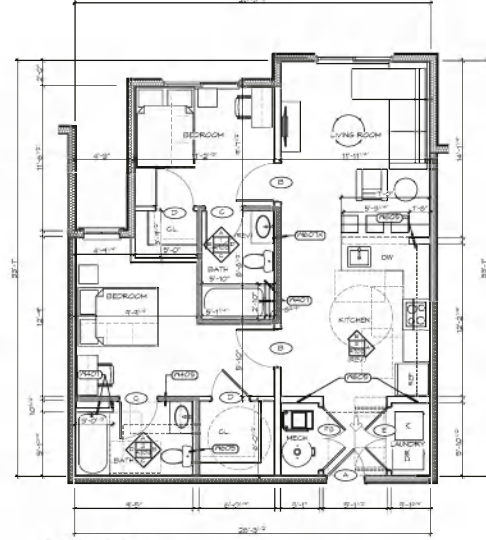
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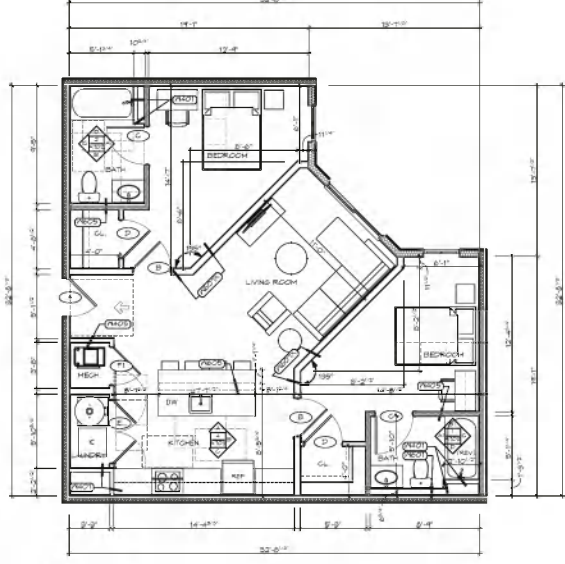
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SCALE 1/4" = 1'-0"



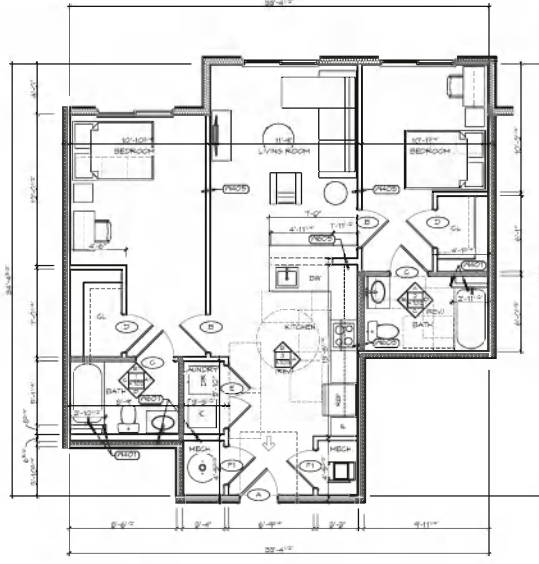
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SCALE 1/4" = 1'-0"



3 2-BR-A  
SCALE 1/4" = 1'-0"



4 2-BR-B  
SCALE 1/4" = 1'-0"



5 2-BR-C  
SCALE 1/4" = 1'-0"

738 South River  
Columbus, IN 47301  
812.431.1900  
KCA@KCAASSOCIATES.COM

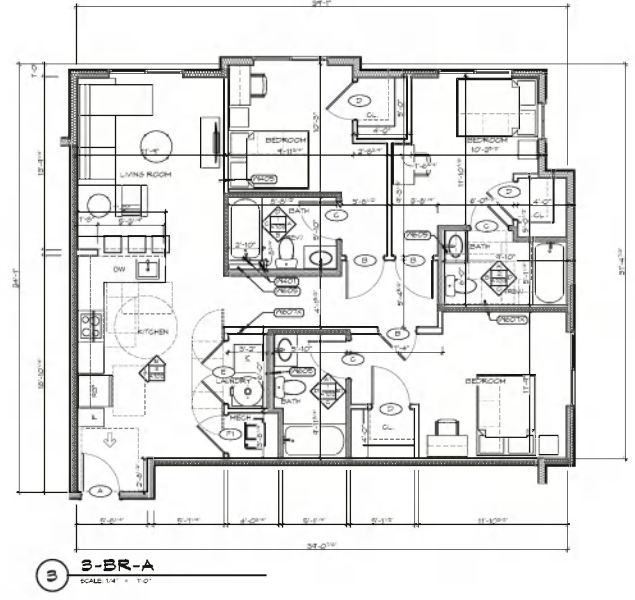
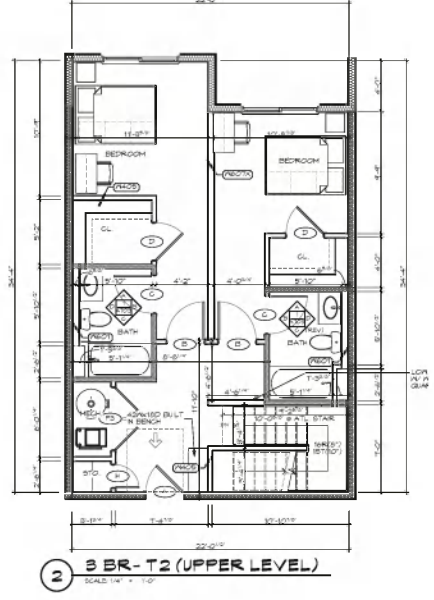
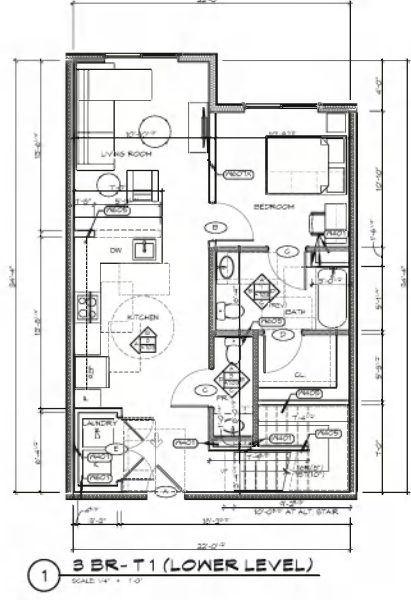
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Empty table with columns for Name and Date.

MAJOR SITE PLAN FILING- 08/30/21  
**AHP** Bloomington - Building 2  
903 West Courtey Pike  
Bloomington, Indiana 47404



Approved by:  
 [Signature Box]  
 Lic. # 251210035

Date	Description	
08-30-2021	2021B	
08-30-2021	TERRAC	
08-30-2021	KPS	
Rev. No.	Name	Date

0000 - BLDG-2 COMP

[Blank Signature Box]

MAJOR SITE PLAN FILING - 08/30/21

AHP **Bloomington - Building 2**

703 West Courley Pike  
 Bloomington, Indiana 47404









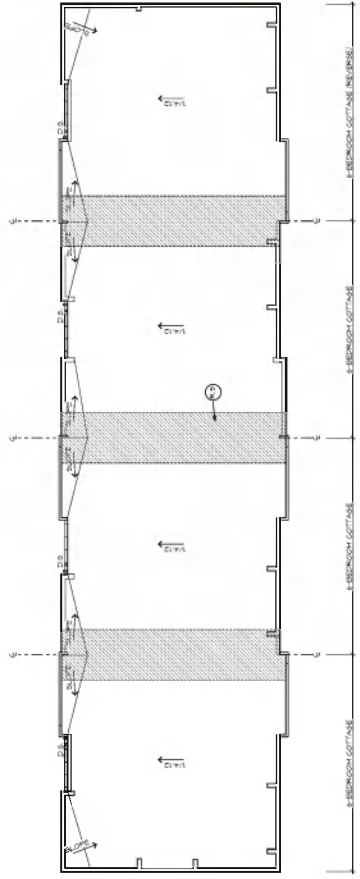
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11

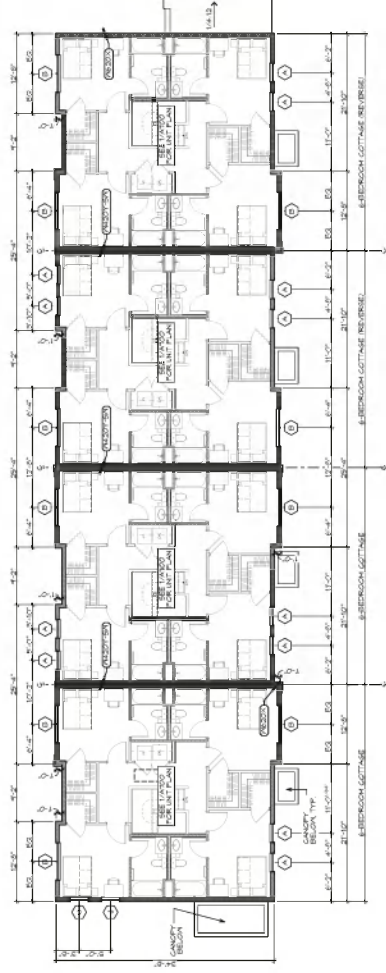
AHP Bloomington - Building 4  
 803 West Courtye Pike  
 Bloomington, Indiana 47404

A101  
 SECOND FLOOR &  
 ROOF PLAN

MAJOR SITE PLAN FILING - 08/30/21

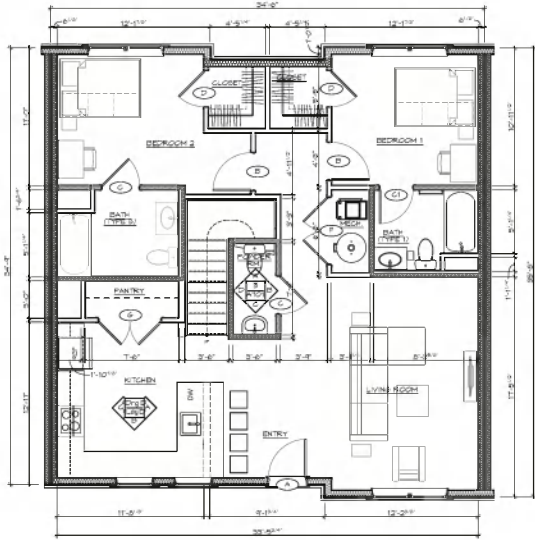


1 ROOF PLAN  
 SCALE: 1/8" = 1'-0"

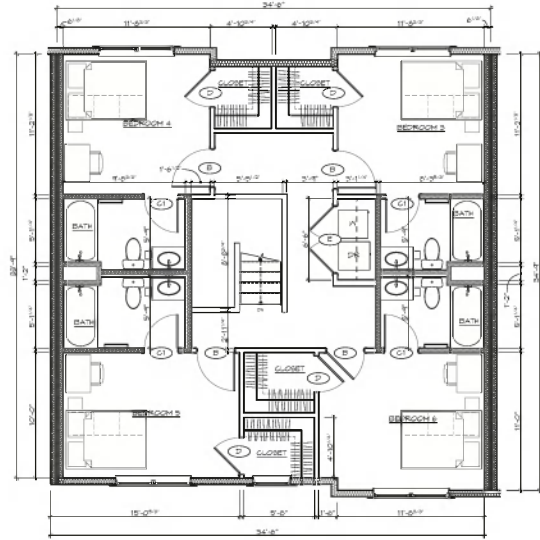


2 SECOND FLOOR  
 SCALE: 1/8" = 1'-0"





**1** 6-BR UNIT LOWER LEVEL PLAN  
SCALE: 1/8" = 1'-0"



**2** 6-BR UNIT UPPER LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

MAJOR SITE PLAN FILING - 08/30/21

**AHP Bloomington - Building 4**  
 8703 West Gourtley Pike  
 Bloomington, Indiana 47404

A700  
UNIT PLANS

REV	NO.	DATE	BY	CHKD

0000\_BLDG-4  
 Date: 08/30/21  
 Job #: 20028  
 Drawn: TSMAT  
 Title: AHP

Matthew J. Blain  
LIC #06260006